

HARTSVILLE/TROUSDALE COUNTY PLANNING COMMISSION

John Kerr – Chair
David Nollner – Vice Chair
Mary Ann Baker – Sec

Rhonda Keisling
Carol Pruitt
Sarah Murray

David Thomas
Mark Swaffer
Thomas Harper

MARCH 14, 2022 | 7:00PM | TC COURTHOUSE

AGENDA

The Hartsville/Trousdale County Planning Commission meeting in regular session on March 14, 2022 at 7:00 pm, in the Hartsville/Trousdale County Courthouse.

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Regular meeting January 10, 2022

Regular meeting February 14, 2022

CHANGES TO THE AGENDA

PUBLIC HEARING

OLD BUSINESS

- Request by staff to amend the Trousdale County Zoning Resolution, section 5.041 D to add Mining Activities and Related Services as a special exception.

NEW BUSINESS

- Preliminary Plat approval for Jesse Peters Front Street Apartments (Map 027B A Parcel 10.00) located in the 7th Civil District.
- Preliminary Plat approval for a 6-lot subdivision on 5.36 acres by Lewis Cass Beasley III on Hwy 10 (Map 12 Parcel 15.01) in the 3rd Civil District.
- Request by Zach Scott/Jordan Fleming for the Rezoning of Temprow RD, 57 acres, (Map 016 Parcel 018) from A-1 to R-1 to create 22 buildable lots in Civil District 8
- Final Plat Approval for The Towns at Melrose, a Townhome Subdivision, on 11.15 acres (Map 26A Group A Parcel 5.00) located in the 4th Civil District.

DISCUSSION TOPICS

REPORT FROM CHAIRMAN

REPORT FROM BUILDING INSPECTOR

	<u>Residence</u> <u>No. of</u> <u>Permits</u>	<u>Residence</u> <u>Total Sq</u> <u>Feet</u>	<u>Res</u> <u>Permit</u> <u>Fees</u>	<u>Accessory</u> <u>Permits</u>	<u>Access</u> <u>Permit</u> <u>Fees</u>	<u>Commercial</u> <u>Permits</u>	<u>Commercial</u> <u>Permit Fees</u>
<u>February</u> 2021	7	11,555	\$8,387	2	\$ 843	0	0
2022	7	12,963	8,167	2	468	2	1,530
Jan 2022	6	10,990	10,994	3	1,274	2	1,125

CLOSING REMARKS FROM THE CHAIR AND COMMISSION

ADJOURN

Hartsville/Trousdale Planning Commission

Meeting Minutes

January 10, 2022 – 7:00 P.M. – Trousdale County Courthouse – 2nd Floor

Present: John Kerr, Mary Ann Baker, David Nollner, Thomas Harper, Rhonda Keisling, Sarah Murray, Carol Pruitt, Mark Swaffer, Sam Edwards and Mary Turner (GNRC).

Absent: David Thomas

Others Present: Jim Carman and Dwight Jewell

Chairman Kerr called the meeting to order at 7:00 P.M. and Secretary Baker conducted a roll call.

Approval of Minutes

Thomas Harper made a motion to approve the minutes of the December 13, 2021 meeting as presented, Seconded by Sarah Murray. **MOTION CARRIED**

Changes to the Agenda

None

Public Hearing

None

Old Business

- *Final Plat approval Crestview Acres Subdivision, 12.2 acres (Map 27 C Parcel 37.00) in Civil District 1.* As discussed last month Jim Carman spoke with property owner Mr. Robbins and the request for the variance for the sidewalks had been withdrawn and the plat had been brought forward with them included. Mr. Carman advised that he had made the adjustments requested by Mary Turner at last month's meeting regarding setbacks, label size of water line, site plan for the mailboxes. Mr. Carman noted that the homeowner's association was being finalized and would be brought to Mr. Edwards when finished. David Nollner made a motion to approve the final plat, seconded by Sarah Murray.

MOTION CARRIED

New Business

None.

Discussion Topics

None.

Report from Chairman

None.

Report From Building Inspector

A chart was provided to members showing the change in activity from last year as follows:

<u>December</u>	<u>2021</u>	<u>2020</u>	<u>Nov. 2021</u>
Residence Permits	7	5	7
Residence Total Sq Feet	12,832	9,342	13,254
Res Permit Fees	\$8,888.00	\$5,960.00	\$8,472
Accessory Permits	6	0	3
Access Permit Fees	\$2,044.00	\$0.00	\$2,653

Closing Remarks from the Chair and Commission

Mary Turner asked if any of the planning members had attended the (4 Hour) online training committee members Sarah Murray, Mary Ann Baker, Carol Pruitt and Thomas Harper advised they had. Thomas Harper reminded members to complete their ethics training.

Other Business

Dwight Jewell wanted to make the commission aware that the 911 Board had received approved plats with internal road names that had not been approved by the 911 Board or the County Commission and was causing confusion. Chairman Kerr understood the issue and Mrs. Turner advised that moving forward they would work on establishing a process that a preliminary plat comes thru it go thru the 911 Board and County Commission before final plat approval.

Adjourn

David Nollner made a motion to adjourn, seconded by Carol Pruitt and the meeting was adjourned.

*Minutes Submitted by
Committee Secretary
Mary Ann Baker
01-13 -2021*

Hartsville/Trousdale Planning Commission

Meeting Minutes

February 14, 2022 – 7:00 P.M. – Trousdale County Courthouse – 2nd Floor

Present: John Kerr, Mary Ann Baker, David Nollner, Thomas Harper, Rhonda Keisling, Sarah Murray, Carol Pruitt, Sam Edwards and Mary Turner (GNRC).

Absent: David Thomas, Mark Swaffer.

Others Present: Jim Carman, Erin White, Robert Powers and Jerry Gammon, Jr.

Chairman Kerr called the meeting to order at 7:00 P.M. and Secretary Baker conducted a roll call.

Changes to the Agenda

None

Public Hearing

None

Old Business

None

New Business

- *Final Subdivision Plat approval for Marshall Property for 2 lots (Map 26 Parcel 64.00) located in the 7th Civil District.* Mr. Jim Carman provided plats and advised that the property owners wish to mark off 2 lots for building and both properties are serviced by water and sewer. Mary Turner stated the properties totaled 1.7 acres and are zoned R-1, issues had been addressed and recommended approval. Sam Edwards advised lots sizes were correct and also recommended approval. Thomas Harper made a motion to approve the final plat as presented, Seconded by Carol Pruitt.

Motion Carried

- *Preliminary Subdivision Plat approval for Arthur B. Harper (map 19M Group C Parcel 17.02) 21 lots located in the 7th Civil District.* Mr. Jim Carman provided plats of the said property located off of McMurry Blvd. East and advised that the property owner would like to construct a road and make a subdivision. Mary Turner noted the said property totaled 7.15 acres and zoned R-3 and C-2, minimum lot size for R-3 are 6,000 square feet however all of these lots exceed 10,000 square feet. Minimum lot size for C-2 is 10,000 but these lots exceed 10,000. She also noted subdivision regulations issues regarding sidewalks along new streets and the plat showed no sidewalks along lot 1 and 21 the 2 commercial lots as well as the setbacks not being noted and recommended the plat for approval with the addition of sidewalks to McMurry and the setbacks noted. Jim Carman speaking for the developer asked for a variance from the sidewalks on those two commercial lots as they felt when those lots were developed the sidewalks would be destroyed and be replaced. Sam Edwards advised that the 2 commercial lots would take significant construction therefore destroying any sidewalk that may be in place and recommended granting a variance for sidewalks on those lots and adding a crosswalk. After some discussion Sarah Murray made a motion to approve the preliminary plat with a variance on the sidewalks on lots 1 and 21 and the addition of a crosswalk, Seconded by Thomas Harper.

Motion Carried

- *Site plan approval for Jesse Peters Front Street Apartments (Map 027B Group A Parcel 10.00) located in the 7th Civil District.* Mr. White provided site plans for an 8-Unit apartment development at an

unaddressed property on West Main Street, he noted that the plans showed accessing the property from Front Street instead of West Main. Mary Turner advised that the property is 0.48 acres and zoned C-1, Central Commercial that allows residential unit. She also noted Buffer strips were missing unless he is asking for a variance he would need to do so thru the Board of Zoning and Appeals as well as Solid Waste, Centralized mailbox, Signage and Slopes of the southwest corner of the property exceed 20%. Mr. White advised that the developer had planned on trash carts at each unit, the mailbox been added and was a kiosk also 2 lowered areas for water runoff. Sam Edwards advised that we have 2 options we could do an approval contingent on agreement with solid waste and the central mailbox or we could defer it until next month. Sarah Murray made a motion to defer this site plan until the March meeting, Seconded by Mary Ann Baker.

Motion Carried (5 Yes / 2 No)

- *Request by Robert Powers for rezoning approval for 3 lots at 613, 615, 617 East Main Street (Map 027D Group A Parcel 3.00, 4.00, 5.00) from R-1 to R-3 located in the 9th Civil District. Lots will be combined and apartment buildings are planned.* Robert Powers property owner advised that he planned to build 5 buildings of 4 units each with a total of 20 apartments. Mary Turner advised that estimates of all 3 lots combined would be 1.8 acres and would allow for the request. The property is within the Urban Services Unit which is identified as a planned growth area. There are no adjacent properties zoned R-3 However, there are properties to the south side of East Main Street. Sam Edwards advised that the lots size would accommodate the property owner request. Rhonda Keisling made a motion to approve the rezoning request, Seconded by Carol Pruitt.

Motion Carried (6 Yes / 1 No)

- *Request by staff to amend the Trousdale County Zoning Resolution, section 5.041 D to add Mining Activities and Related Services as a special exception.* Sam Edwards advised the commission that in speaking with Mary and GNRC currently there is nothing stated for zoning for mining its just a blanket statement. The concern being a quarry being allowed to be put in residential area. Mary Turner had been researching the topic and provided the commission with 2 resolution drafts to review and discuss. After some discussion the Commission advised Mrs. Turner they liked the second draft however they have more questions. David Nollner made a motion to defer this issue until the March meeting, Seconded by Thomas Harper.

Motion Carried

- *Site Plan Approval for The Towns at Melrose, a Townhome Subdivision, on 11.15 acres (Map 26A Group A Parcel 5.00) located in the 4^h Civil District.* Jerry Gammon, Jr. provided a site plan for 118 Townhome subdivision. Mary Turner advised that she has had this discussion with the applicant prior to the meeting and with the size of this project, utilities and many more items to look at her recommendation is to look at this just as a site plan and moving forward they present a preliminary plat and final plat. The Buffer strip presented does not include 2 rows of shrubs however it does include a (7) feet opaque fence with cypress, red cedar and white pine trees. Sam Edwards advised that with the exception of the utility access everything else was in order. The concern is the legal access to the taps since the property will be maintained by an HOA which should be resolved before the preliminary and final plat reviews. Mary Ann Baker made a motion to approve the site plan contingent on preliminary plat and final plat approval and approved Buffer strip by Building Inspector, Seconded by Rhonda Keisling.

Motion Carried (6 Yes / 1 No)

Discussion Topics

Proposal for the West Main Sidewalk Rehabilitation project of the sidewalks on West Main from the termination of the streetscape project at the corner of East Main Street and Broadway/Church Street intersection to the West Main Street and Littleton Street. Evan White advised that this is a 5-year proposal to

repair the sidewalks in the downtown area. The current sidewalks are not ADA compliant and this will correct this issue. Although there will be stairs at one section a crosswalk will be included.

Report from Chairman

None.

Report From Building Inspector

A chart was provided to members showing the change in activity from last year as follows:

January	2021	2022	Dec. 2021
Residence Permits	5	6	7
Residence Total Sq Feet	9,342	10,990	12,832
Res Permit Fees	\$5,960.00	\$10,994.00	\$8,888.00
Accessory Permits	0	3	6
Access Permit Fees	0	\$1,274.00	\$2,044.00
Commercial Permits	0	2	0
Commercial Permit Fees	0	\$1,125.00	0

Closing Remarks from the Chair and Commission

Chairman Kerr advise the body that tonight a total of 141 homes and 28 apartments had been approved and to consider the effect that will have in schools and property taxes.

Adjourn

David Nollner made a motion to adjourn, seconded by John Kerr and the meeting was adjourned.

JESSE PETERS

FRONT STREET APARTMENT BUILDING

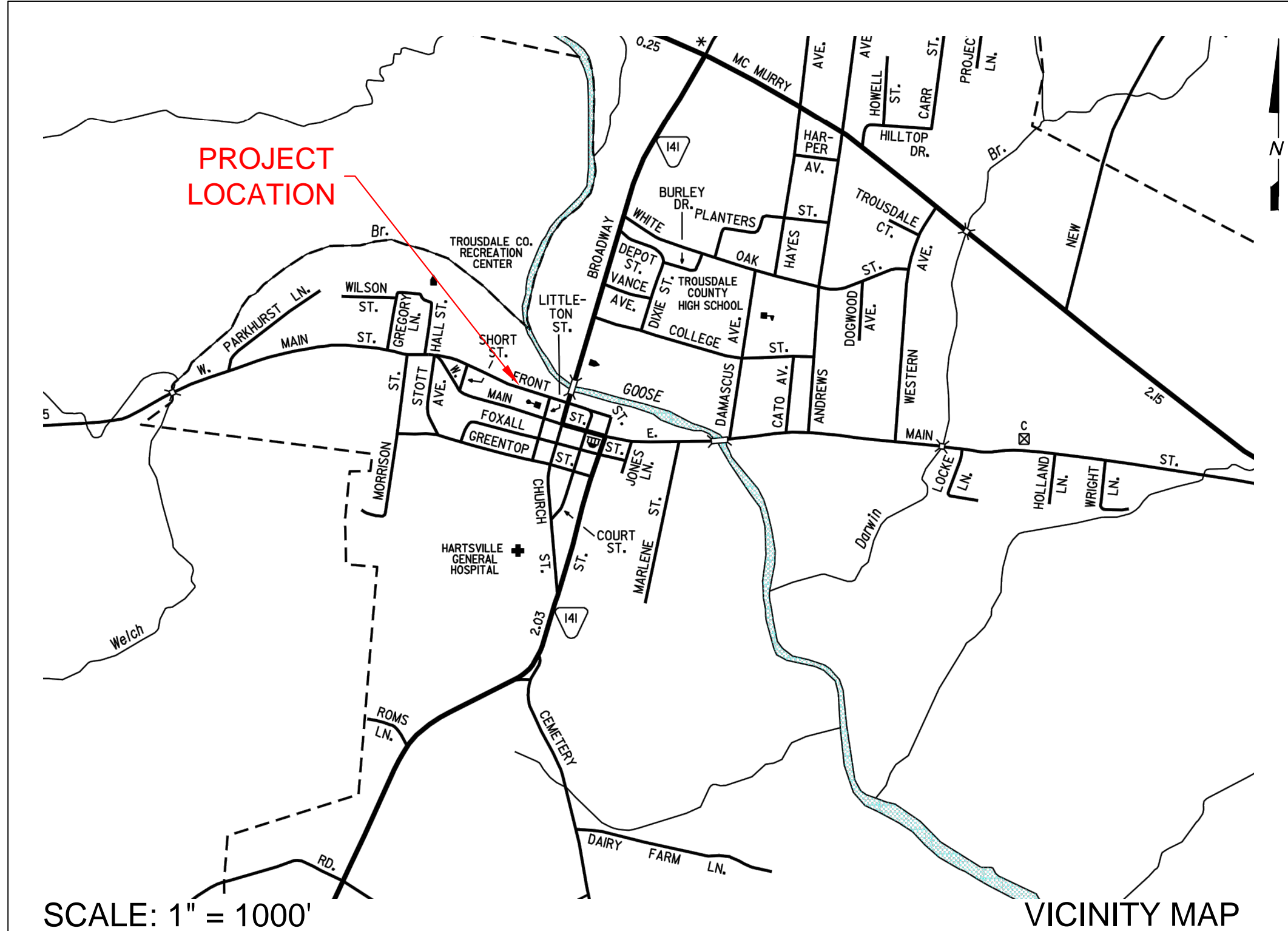
HARTSVILLE, TENNESSEE
 TAX MAP 027B, GROUP A, PARCEL 010.00
 FRONT STREET

INDEX OF DRAWINGS

DESCRIPTION	SHEET
COVER SHEET	T1
GENERAL NOTES	G1
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PROPOSED SITE LAYOUT	C2
PROPOSED GRADING & DRAINAGE PLAN	C3
PROPOSED UTILITIES PLAN	C4
STANDARD SITE DETAILS	C5
STANDARD SITE DETAILS	C6

SITE DATA

OWNER / APPLICANT:	JESSE PETERS 514 COLLEGE AVENUE EAST CARTHAGE, TN 37030
ZONING:	C-2
AREA OF TRACT:	0.48± AC.
TAX MAP ID:	027B
PROPOSED USE OF STRUCTURES:	APARTMENTS
LAND DISTURBANCE:	0.45± AC.
WATER:	PUBLIC, HTWSUD
WASTE:	PUBLIC, HTWSUD
EXISTING BUILDING GROSS:	2982 S.F.
PROPOSED BUILDING GROSS:	3,875 S.F.
EXISTING IMPERVIOUS SURFACE AREA:	2,982 S.F.
PROPOSED IMPERVIOUS SURFACE AREA:	11,275 S.F.



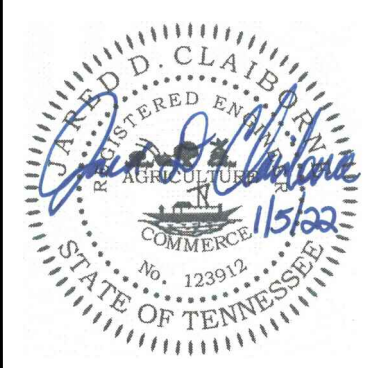
**MID - TENN
 ENGINEERING CO.**
 648 HWY. 52 BYPASS WEST
 LAFAYETTE, TN (615) 666-2385

NO.	DATE	DESCRIPTION	BY	CHKD

**MID - TENN
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 648 HIGHWAY 52 BYPASS W.
 LAFAYETTE, TN (615) 666-2385

JESSE PETERS APARTMENTS
 FRONT STREET
 HARTSVILLE, TENNESSEE

COVER SHEET



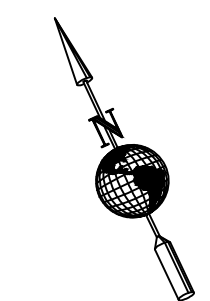
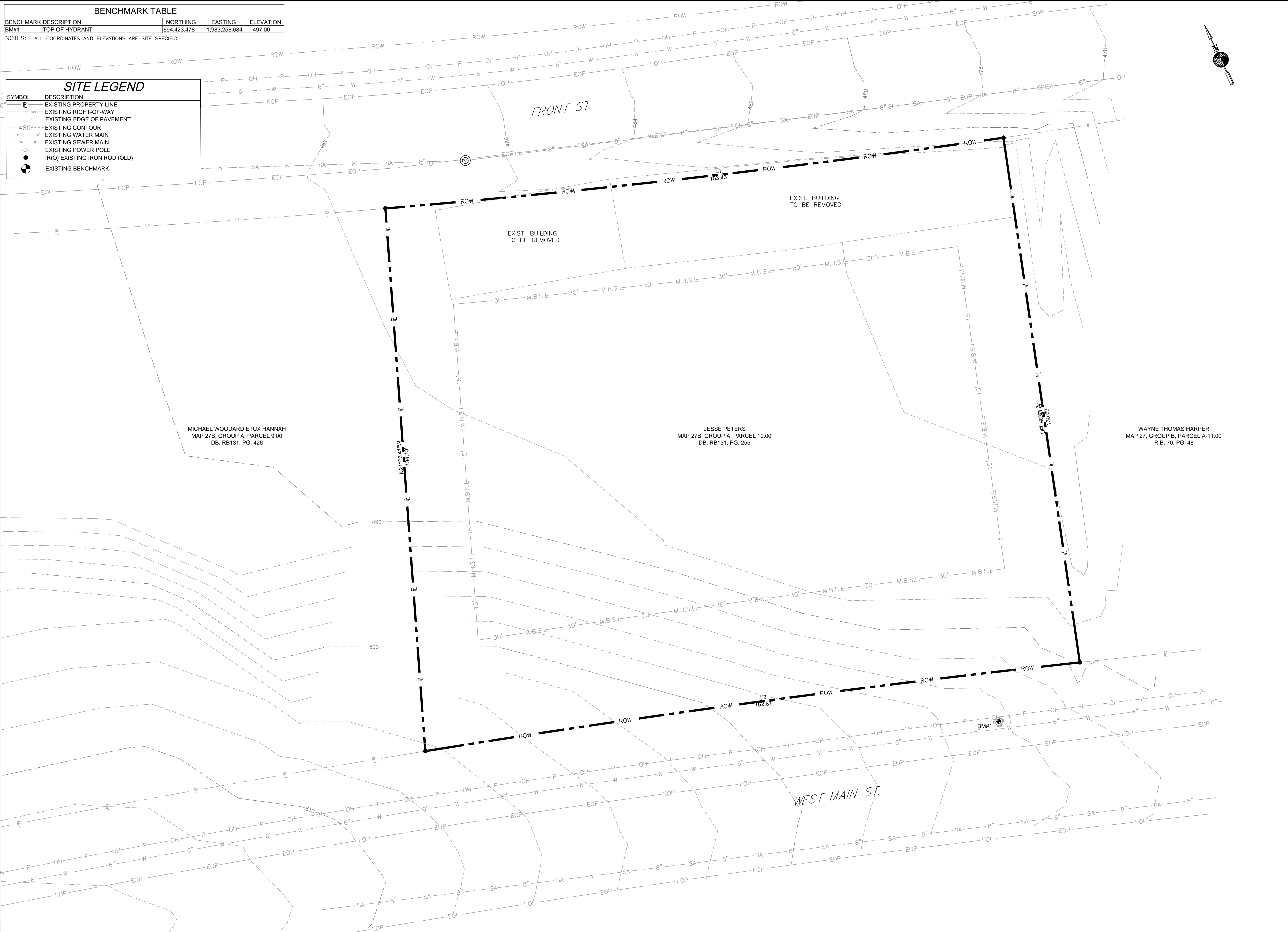
DESIGNED BY:	J.D.C.	SCALE:	AS-NOTED
CHECKED BY:	E.J.W.	DATE:	1/05/22
PROJECT NO.:	859101		

SHEET
T1

BENCHMARK TABLE				
BENCHMARK	DESCRIPTION	NORTHING	EASTING	ELEVATION
BM#1	TOP OF HYDRANT	694,423.478	1,983,258.684	497.00

NOTES: ALL COORDINATES AND ELEVATIONS ARE SITE SPECIFIC.

SITE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING EDGE OF PAVEMENT
	EXISTING CONTOUR
	EXISTING WATER MAIN
	EXISTING SEWER MAIN
	EXISTING POWER POLE
	IR(O) EXISTING IRON ROD (OLD)
	EXISTING BENCHMARK

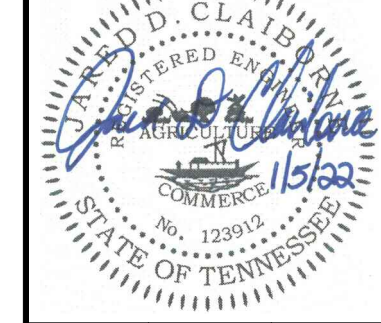


NO.	DATE	DESCRIPTION	BY	CHKD

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JESSE PETERS APARTMENTS
 FRONT STREET
 HARTSVILLE, TENNESSEE

EXISTING SITE LAYOUT



DESIGNED BY:	E.J.W.
DATE:	1/05/22
DRAWN BY:	J.D.C.
SCALE:	1" = 10'

SHEET **C1**

SITE DATA INFORMATION

ZONING: C-2
 AREA OF TRACT: 0.48 AC.
 EXISTING BUILDING GROSS S.F. 2982 S.F.
 PROPOSED BUILDING GROSS S.F. 3,825 S.F.

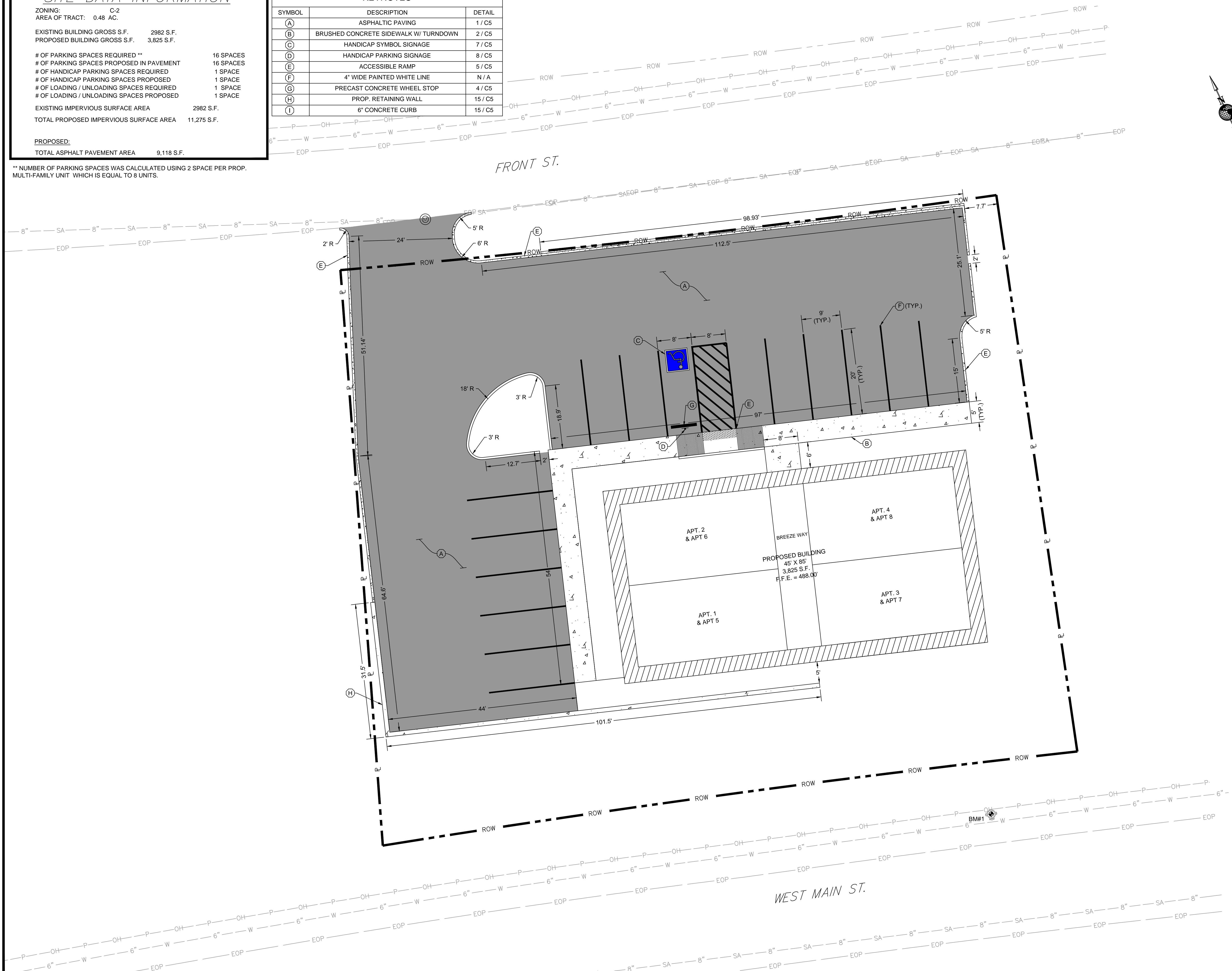
OF PARKING SPACES REQUIRED ** 16 SPACES
 # OF PARKING SPACES PROPOSED IN PAVEMENT 16 SPACES
 # OF HANDICAP PARKING SPACES REQUIRED 1 SPACE
 # OF HANDICAP PARKING SPACES PROPOSED 1 SPACE
 # OF LOADING / UNLOADING SPACES REQUIRED 1 SPACE
 # OF LOADING / UNLOADING SPACES PROPOSED 1 SPACE

EXISTING IMPERVIOUS SURFACE AREA 2982 S.F.
 TOTAL PROPOSED IMPERVIOUS SURFACE AREA 11,275 S.F.

PROPOSED:
 TOTAL ASPHALT PAVEMENT AREA 9,118 S.F.

** NUMBER OF PARKING SPACES WAS CALCULATED USING 2 SPACE PER PROP. MULTI-FAMILY UNIT WHICH IS EQUAL TO 8 UNITS.

KEYNOTES		
SYMBOL	DESCRIPTION	DETAIL
(A)	ASPHALTIC PAVING	1 / C5
(B)	BRUSHED CONCRETE SIDEWALK W/ TURNDOWN	2 / C5
(C)	HANDICAP SYMBOL SIGNAGE	7 / C5
(D)	HANDICAP PARKING SIGNAGE	8 / C5
(E)	ACCESSIBLE RAMP	5 / C5
(F)	4" WIDE PAINTED WHITE LINE	N / A
(G)	PRECAST CONCRETE WHEEL STOP	4 / C5
(H)	PROP. RETAINING WALL	15 / C5
(I)	6" CONCRETE CURB	15 / C5

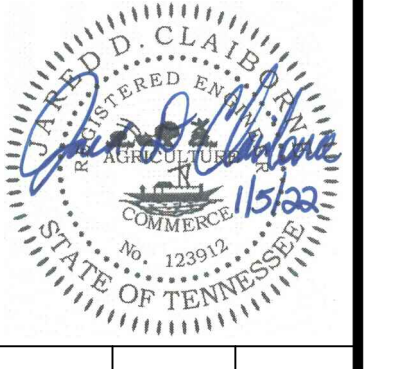


NO.	DATE	DESCRIPTION	BY	CHKD

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 LAFAYETTE, TN (615) 666-2855

JESSE PETERS APARTMENTS
 FRONT STREET
 HARTSVILLE, TENNESSEE

PROPOSED SITE LAYOUT

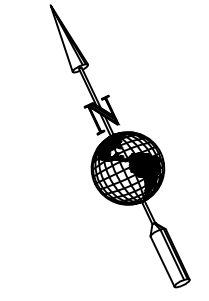
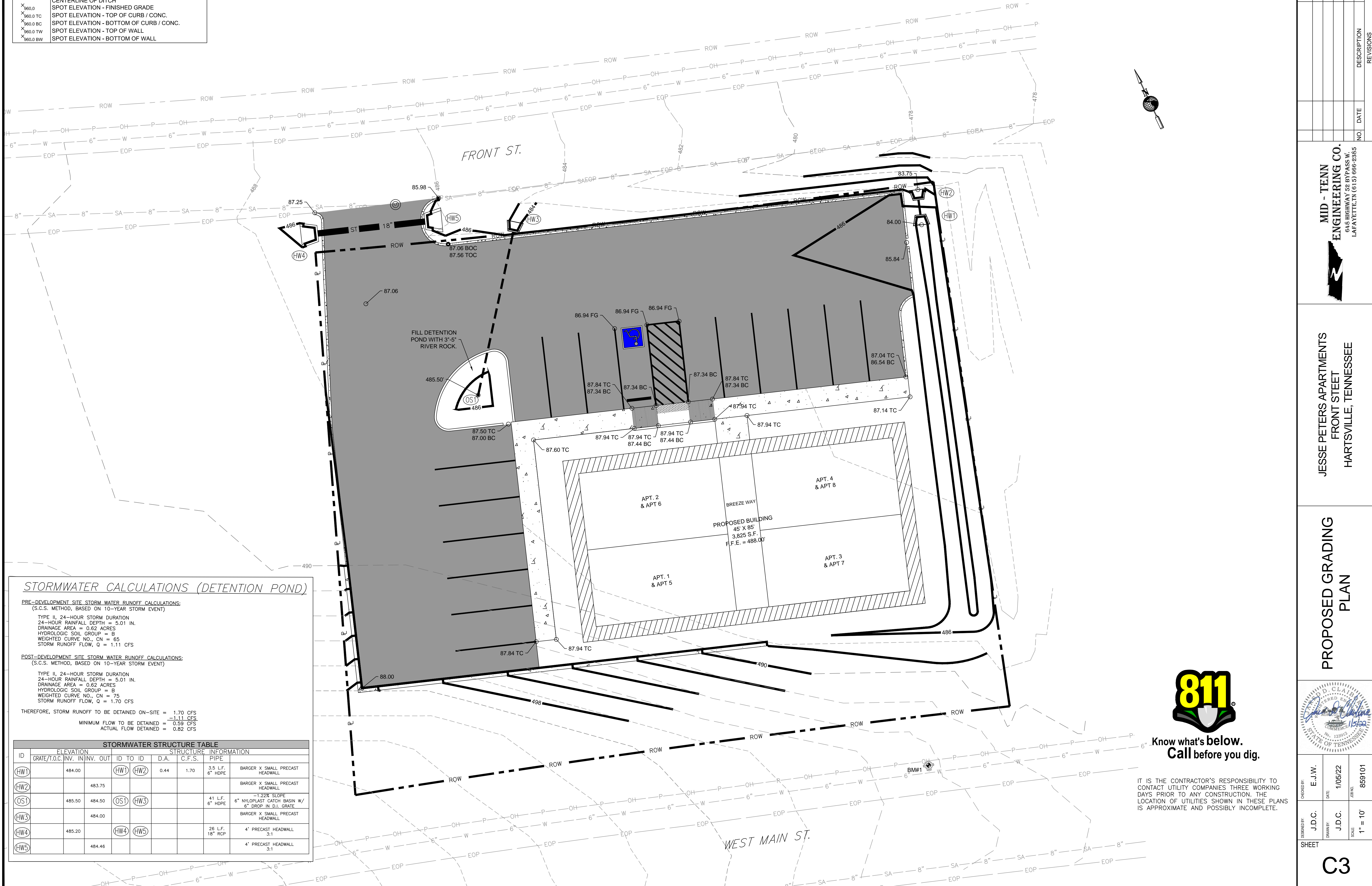


DESIGNED BY: E.J.W.	DATE: 1/05/22	JOB NO.: 859101
DRAWN BY: J.D.C.	SCALE: 1" = 10'	

SHEET **C2**

PROPOSED SITE LEGEND

SYMBOL	DESCRIPTION
-460-	EXISTING CONTOUR
460	PROPOSED CONTOUR
—	CENTERLINE OF DITCH
X _{960.0}	SPOT ELEVATION - FINISHED GRADE
X _{960.0 TC}	SPOT ELEVATION - TOP OF CURB / CONC.
X _{960.0 BC}	SPOT ELEVATION - BOTTOM OF CURB / CONC.
X _{960.0 TW}	SPOT ELEVATION - TOP OF WALL
X _{960.0 BW}	SPOT ELEVATION - BOTTOM OF WALL



STORMWATER CALCULATIONS (DETENTION POND)

PRE-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:
(S.C.S. METHOD, BASED ON 10-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION
24-HOUR RAINFALL DEPTH = 5.01 IN.
DRAINAGE AREA = 0.62 ACRES
HYDROLOGIC SOIL GROUP = B
WEIGHTED CURVE NO., CN = 65
STORM RUNOFF FLOW, Q = 1.11 CFS

POST-DEVELOPMENT SITE STORM WATER RUNOFF CALCULATIONS:
(S.C.S. METHOD, BASED ON 10-YEAR STORM EVENT)

TYPE II, 24-HOUR STORM DURATION
24-HOUR RAINFALL DEPTH = 5.01 IN.
DRAINAGE AREA = 0.62 ACRES
HYDROLOGIC SOIL GROUP = B
WEIGHTED CURVE NO., CN = 75
STORM RUNOFF FLOW, Q = 1.70 CFS

THEREFORE, STORM RUNOFF TO BE DETAINED ON-SITE = 1.70 CFS
MINIMUM FLOW TO BE DETAINED = 0.59 CFS
ACTUAL FLOW DETAINED = 0.82 CFS

ELEVATION		STRUCTURE		PIPE		INFORMATION	
ID	GRATE/T.O.C. INV.	IN	OUT	ID TO ID	D.A.	C.F.S.	
(HW1)	484.00			(HW1) (HW2)	0.44	1.70	3.5 L.F. 6" HDPE BARGER X SMALL PRECAST HEADWALL
(HW2)			483.75				BARGER X SMALL PRECAST HEADWALL
(OS1)	485.50	484.50		(OS1) (HW3)			41 L.F. 6" NYLONPLAST CATCH BASIN W/ 1.22% SLOPE 6" DROP IN D.I. GRATE
(HW3)			484.00				BARGER X SMALL PRECAST HEADWALL
(HW4)	485.20			(HW4) (HW5)			26 L.F. 18" RCP 4' PRECAST HEADWALL 3:1
(HW5)			484.46				4' PRECAST HEADWALL 3:1

NO.	DATE	DESCRIPTION	BY	CHKD

MID - TENN ENGINEERING CO.
648 HIGHWAY 58 BYPASS W.
LAFAYETTE, TN (615) 666-2865

JESSE PETERS APARTMENTS
FRONT STREET
HARTSVILLE, TENNESSEE

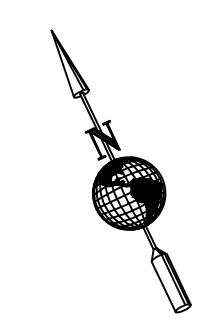
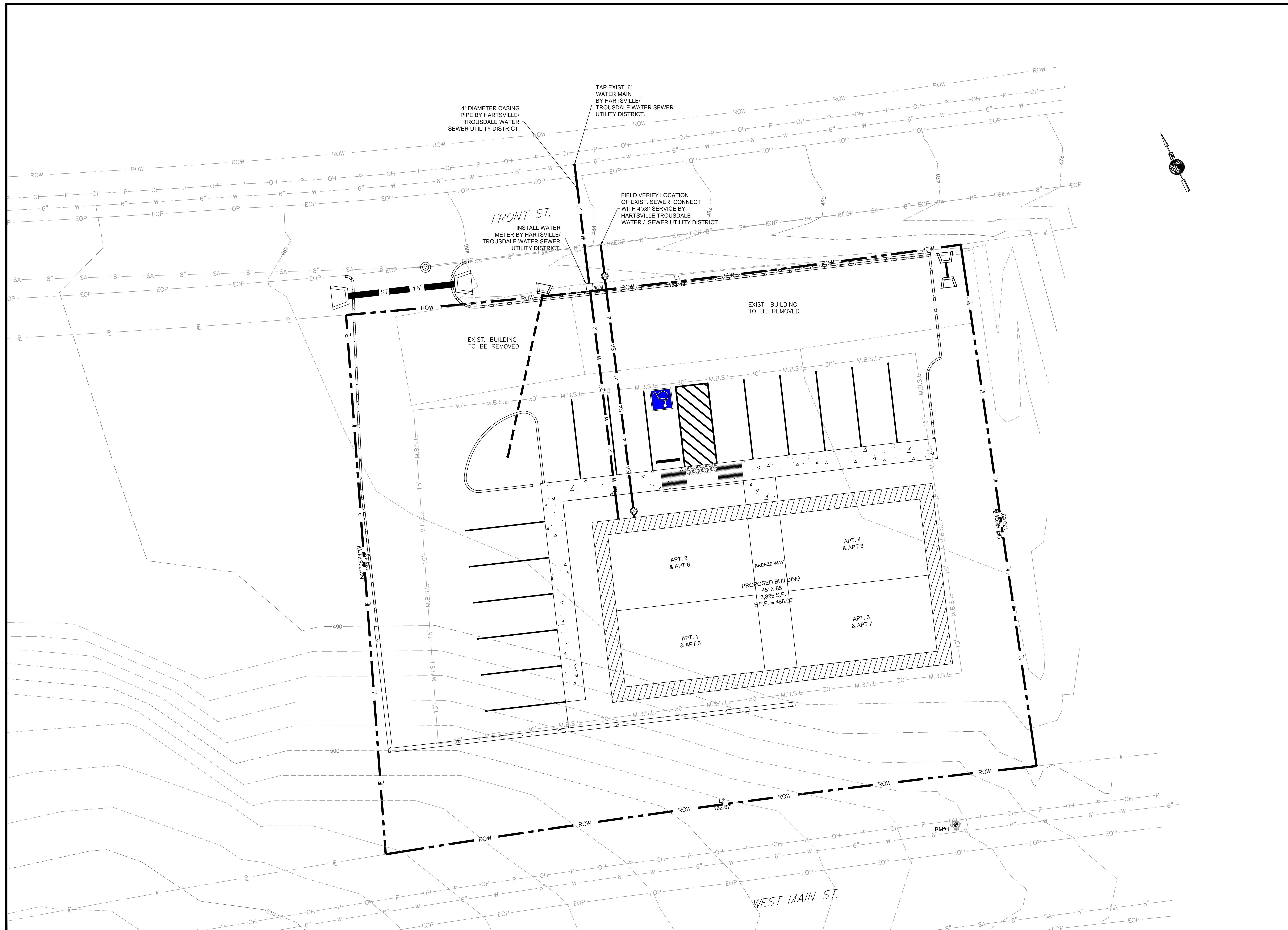
PROPOSED GRADING PLAN



Know what's below.
Call before you dig.


IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES THREE WORKING DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN IN THESE PLANS IS APPROXIMATE AND POSSIBLY INCOMPLETE.

DESIGNED BY:	J.D.C.	DATE:	1/05/22	SCALE:	1" = 10'
DRAWN BY:	J.D.C.	PROJECT NO.:	859101		



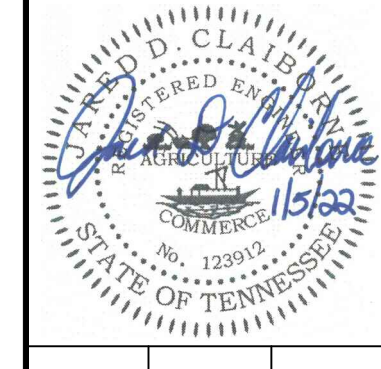
NO.	DATE	DESCRIPTION	BY	CHKD

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648 HIGHWAY 58 BYPASS W.
LAFAYETTE, TN (615) 666-2855



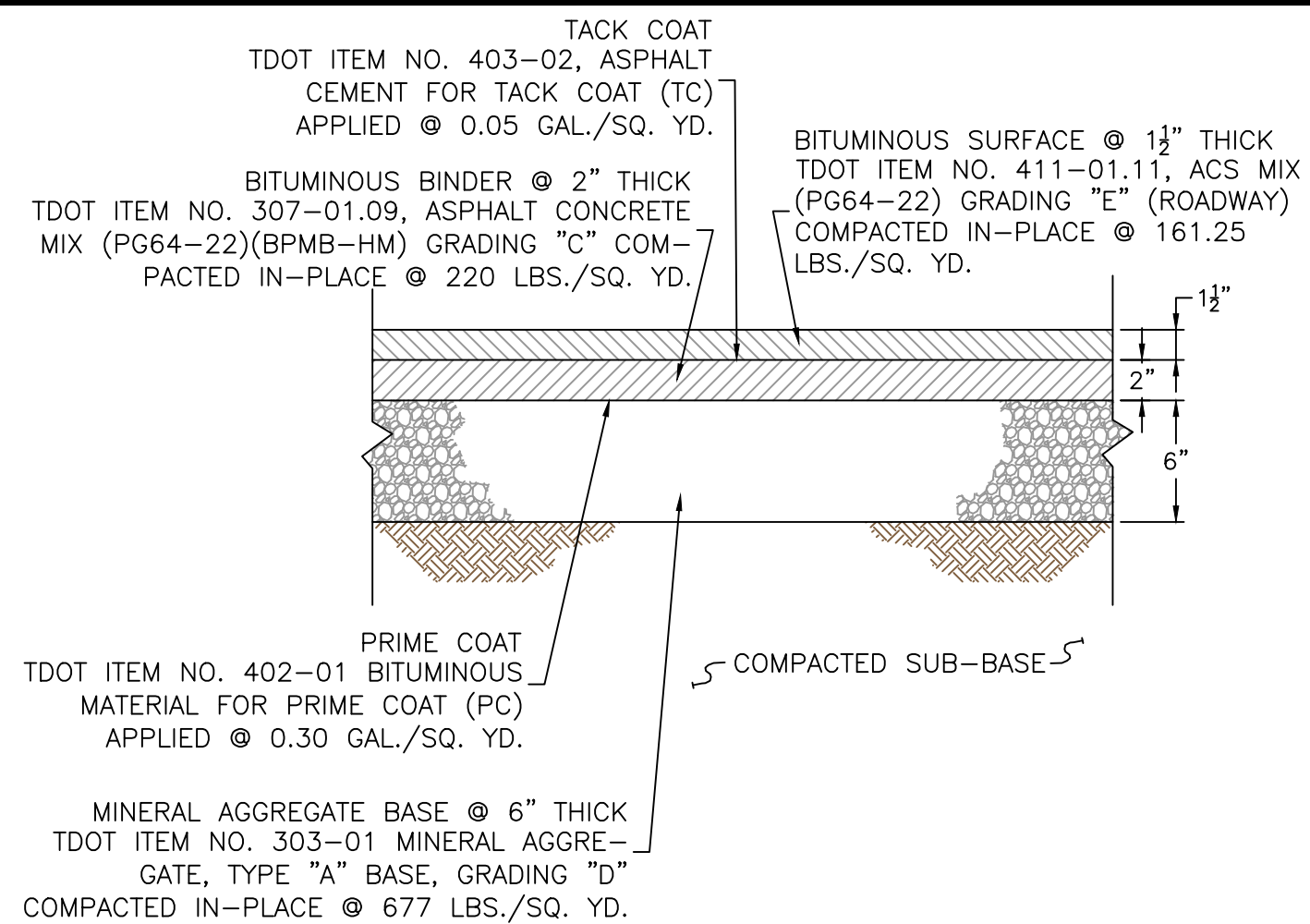
JESSE PETERS APARTMENTS
FRONT STREET
HARTSVILLE, TENNESSEE

**PROPOSED UTILITIES
PLAN**

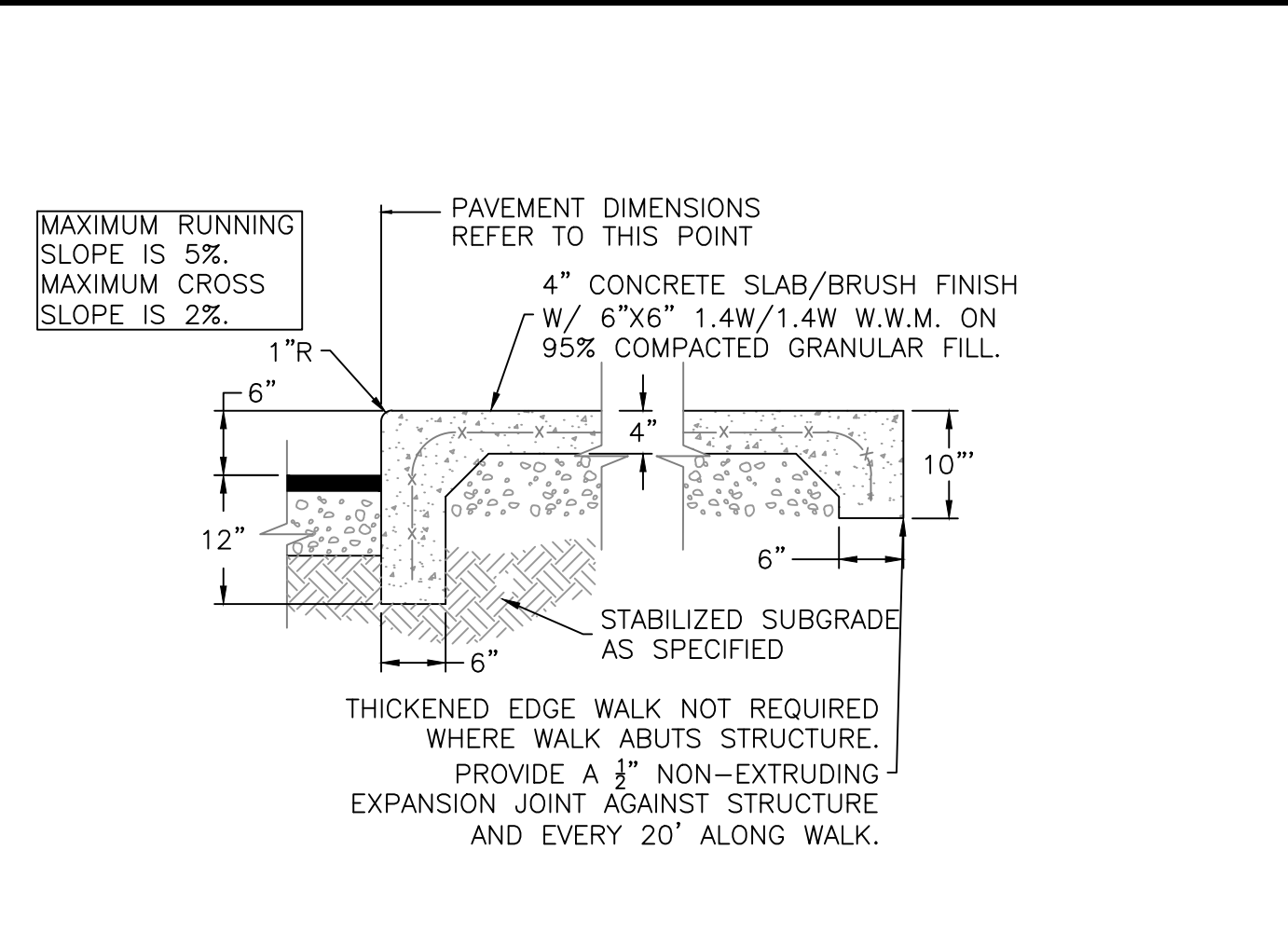


DESIGNED BY:	E.J.W.
DATE:	1/05/22
DRAWN BY:	J.D.C.
SCALE:	1" = 10'
SHEET NO.:	859101

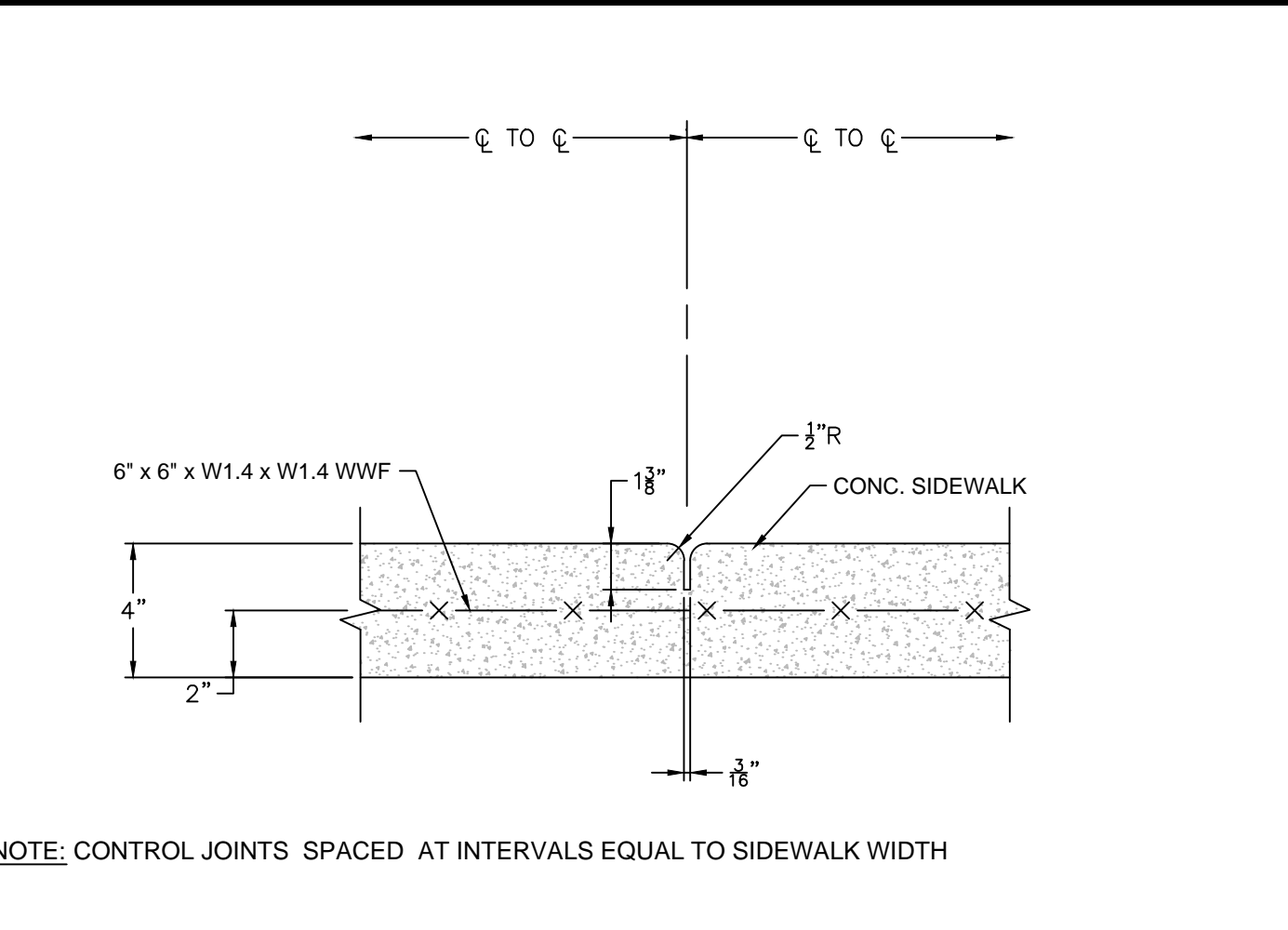
C4



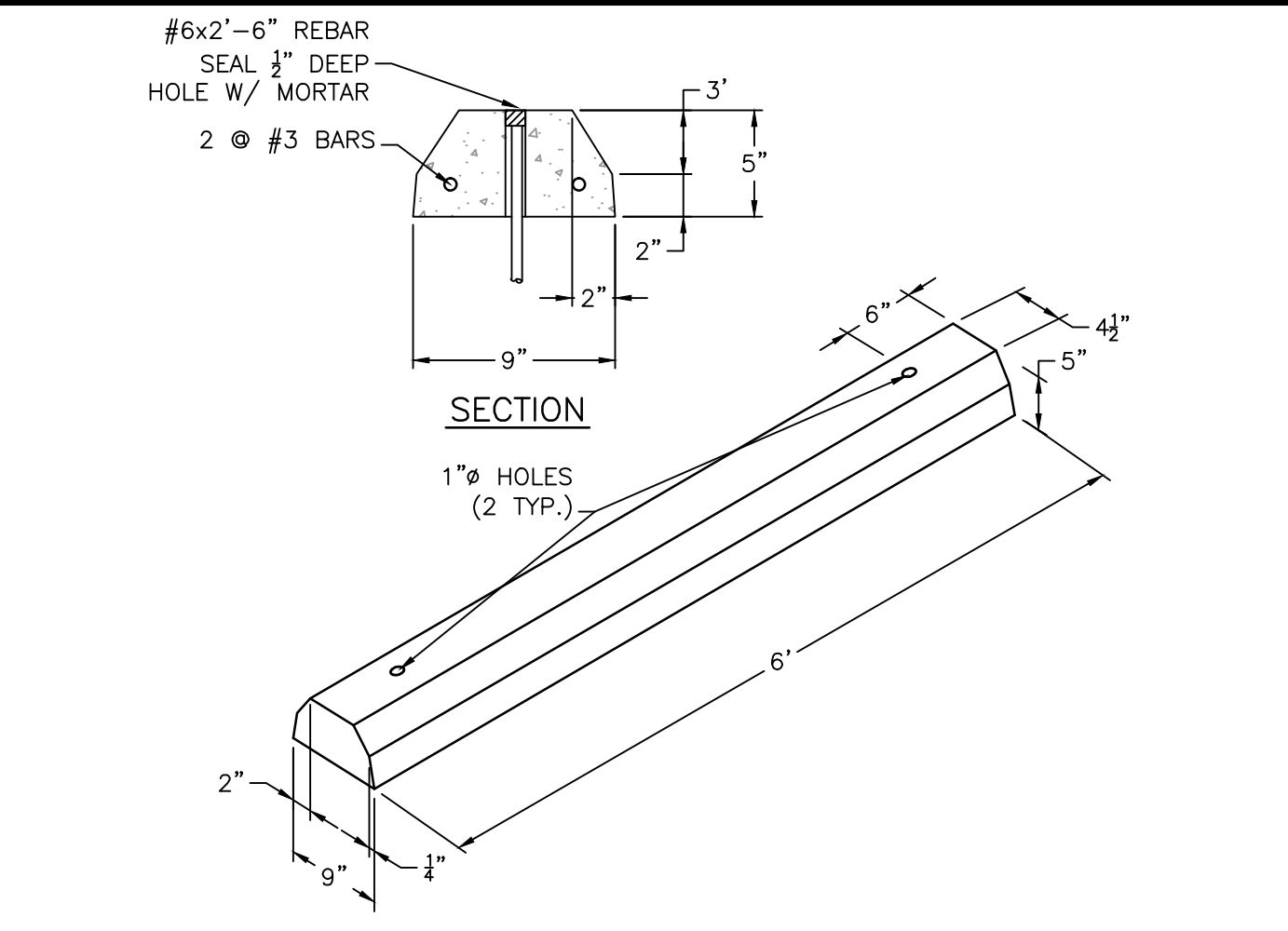
DETAIL ASPHALTIC PAVING SCALE: N.T.S. ①



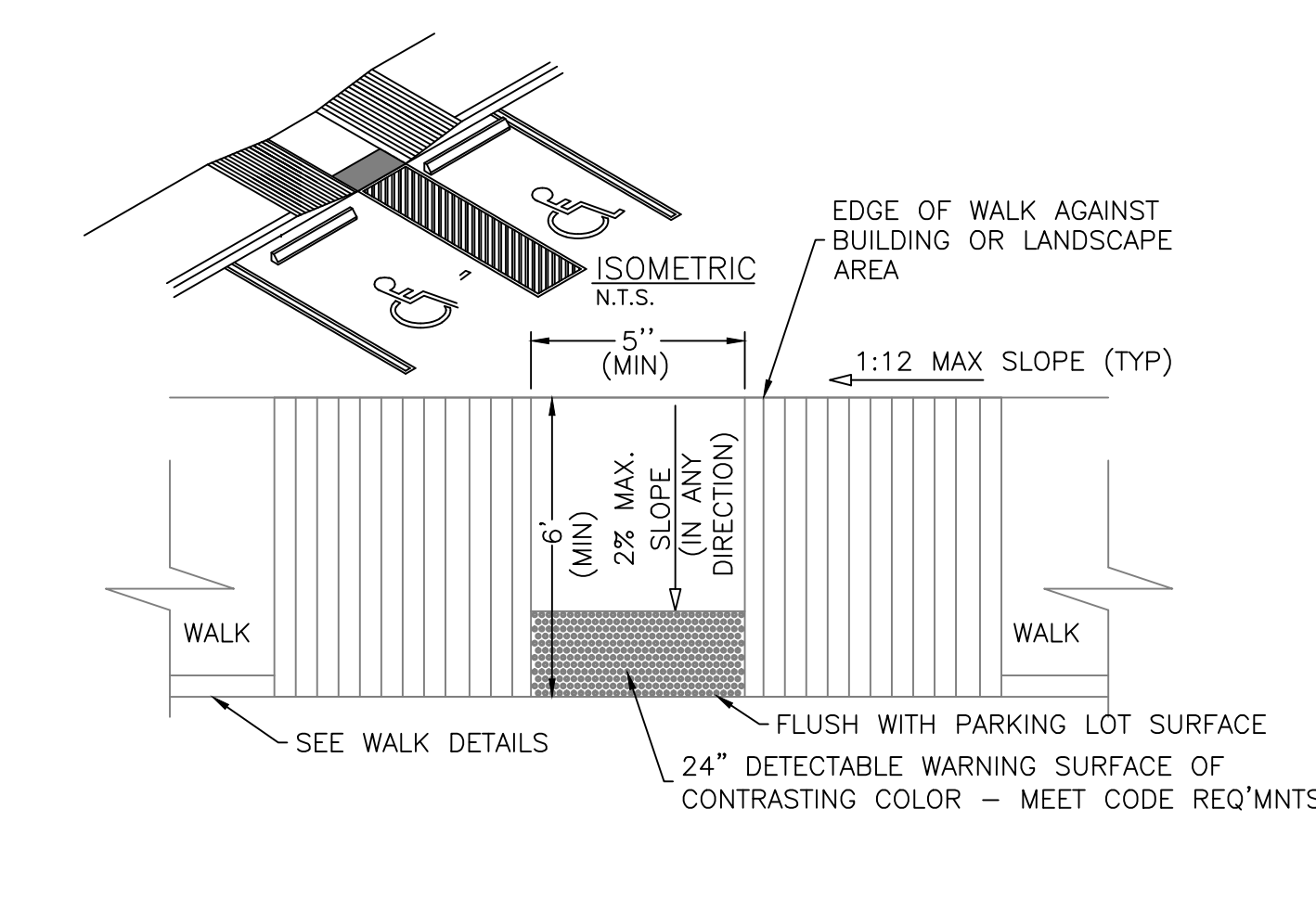
DETAIL BRUSHED CONCRETE SIDEWALK SCALE: N.T.S. ②



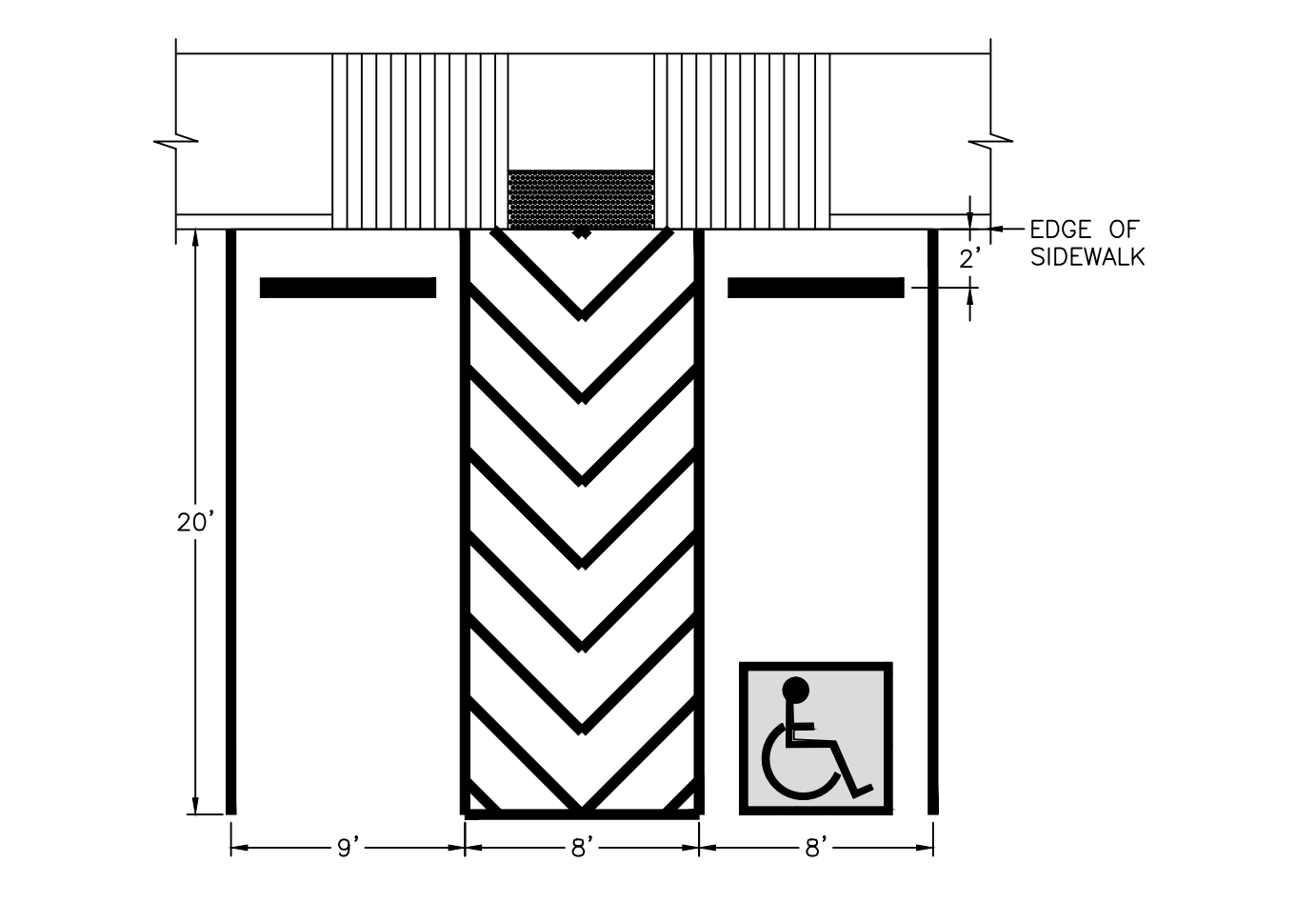
DETAIL SIDEWALK CONTROL JOINT SCALE: N.T.S. ③



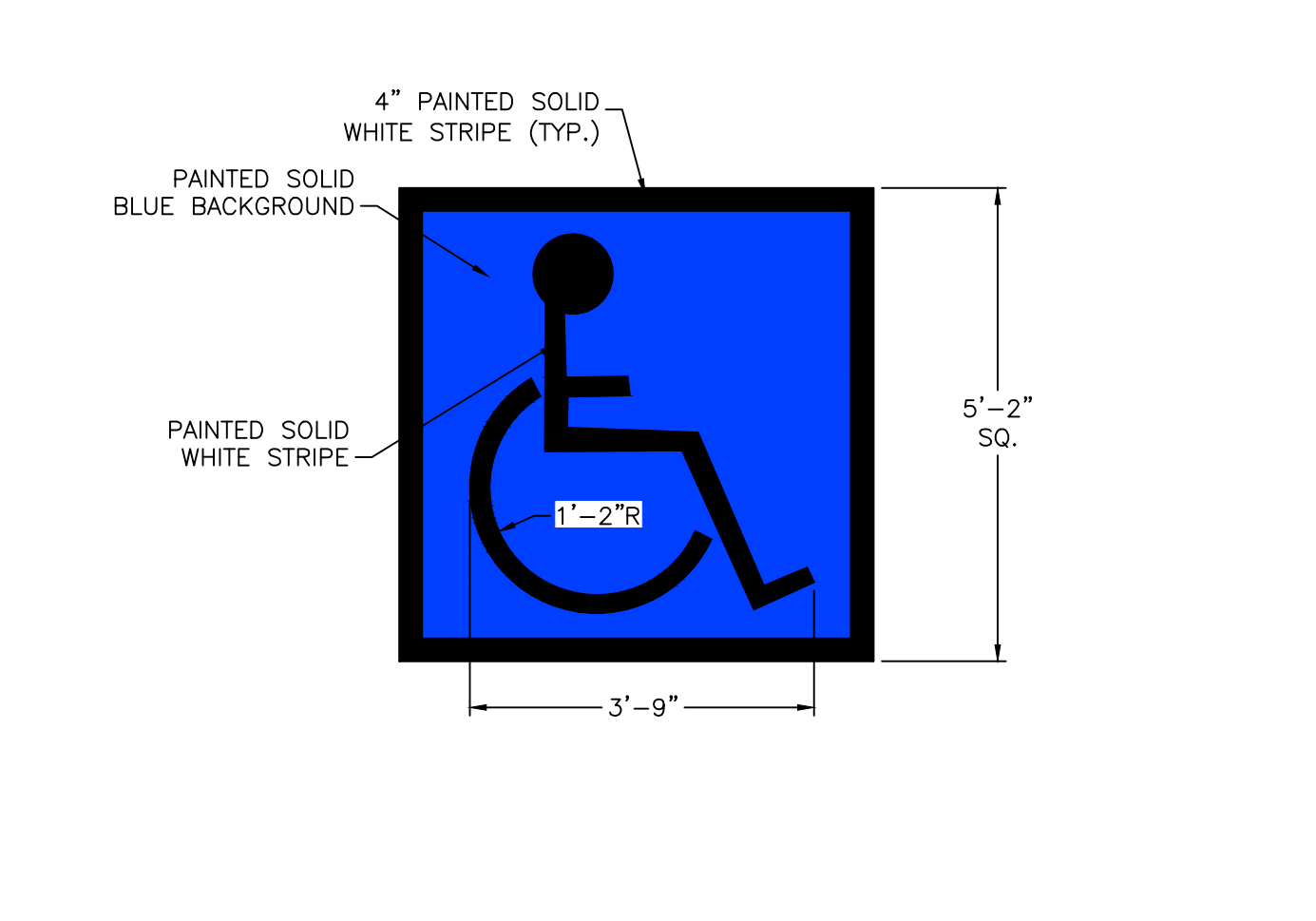
DETAIL PRE-CAST CONCRETE WHEEL STOP SCALE: N.T.S. ④



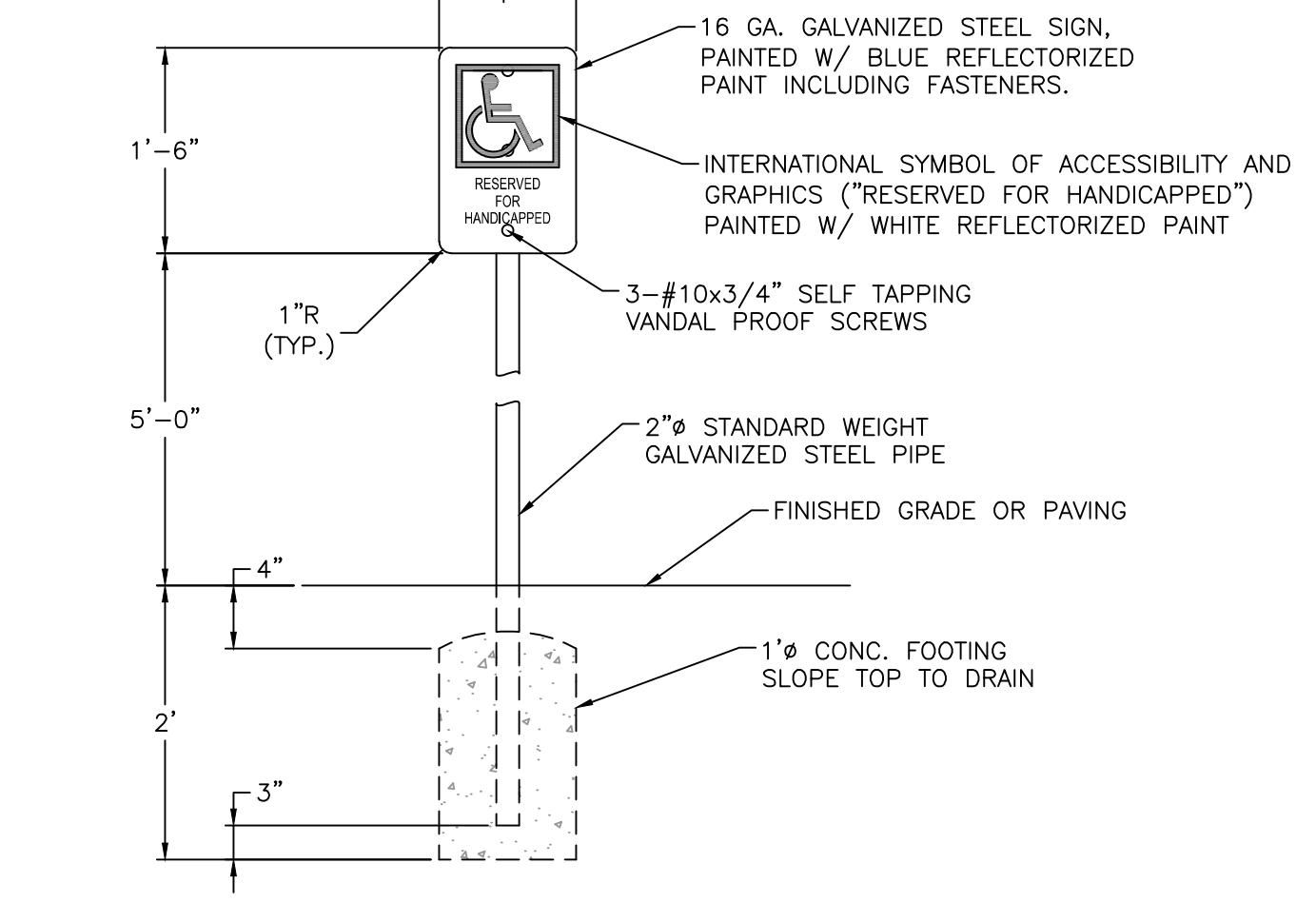
DETAIL ACCESSIBLE PARKING RAMP SCALE: N.T.S. ⑤



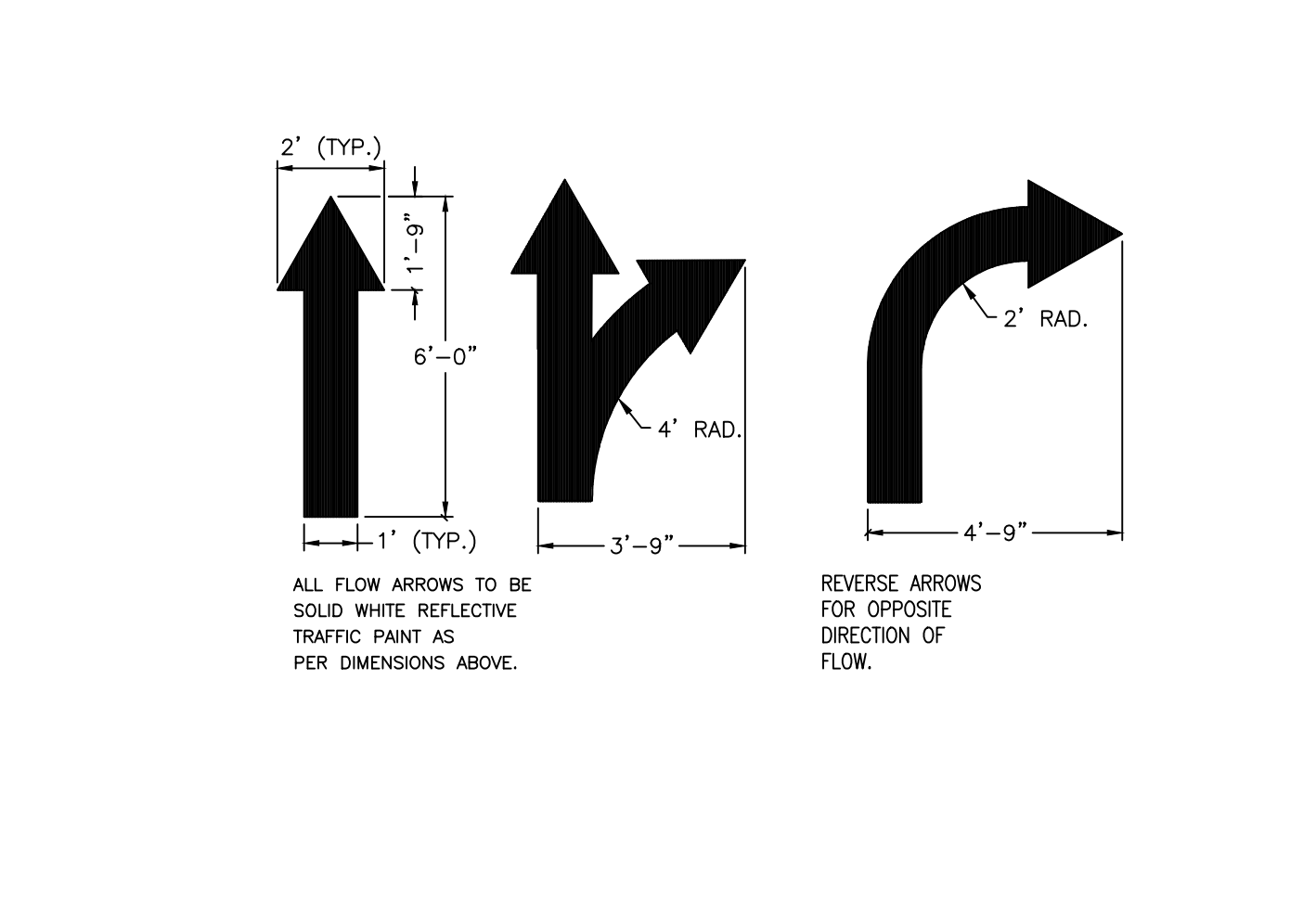
DETAIL HANDICAP PARKING LAYOUT SCALE: N.T.S. ⑥



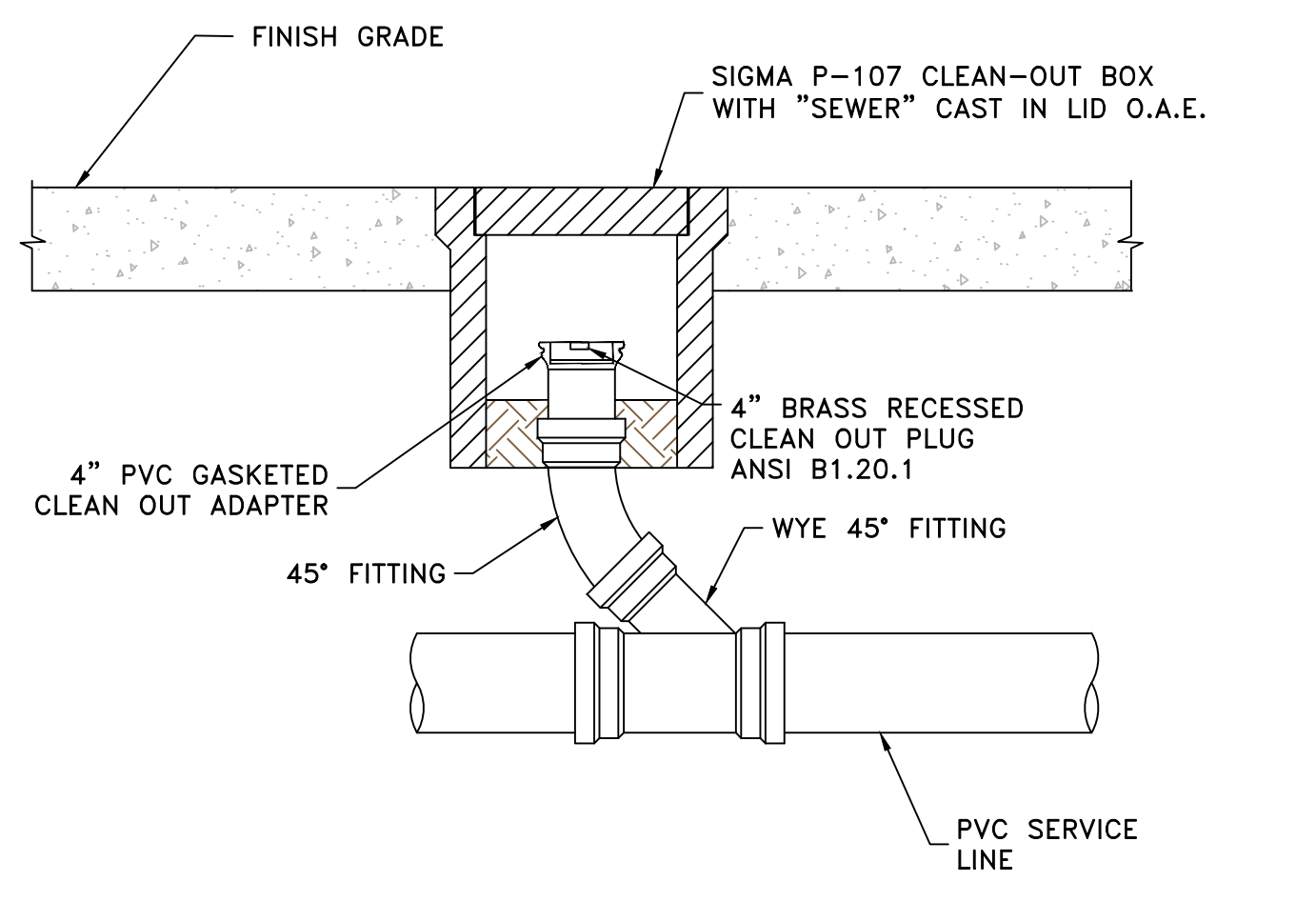
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑦



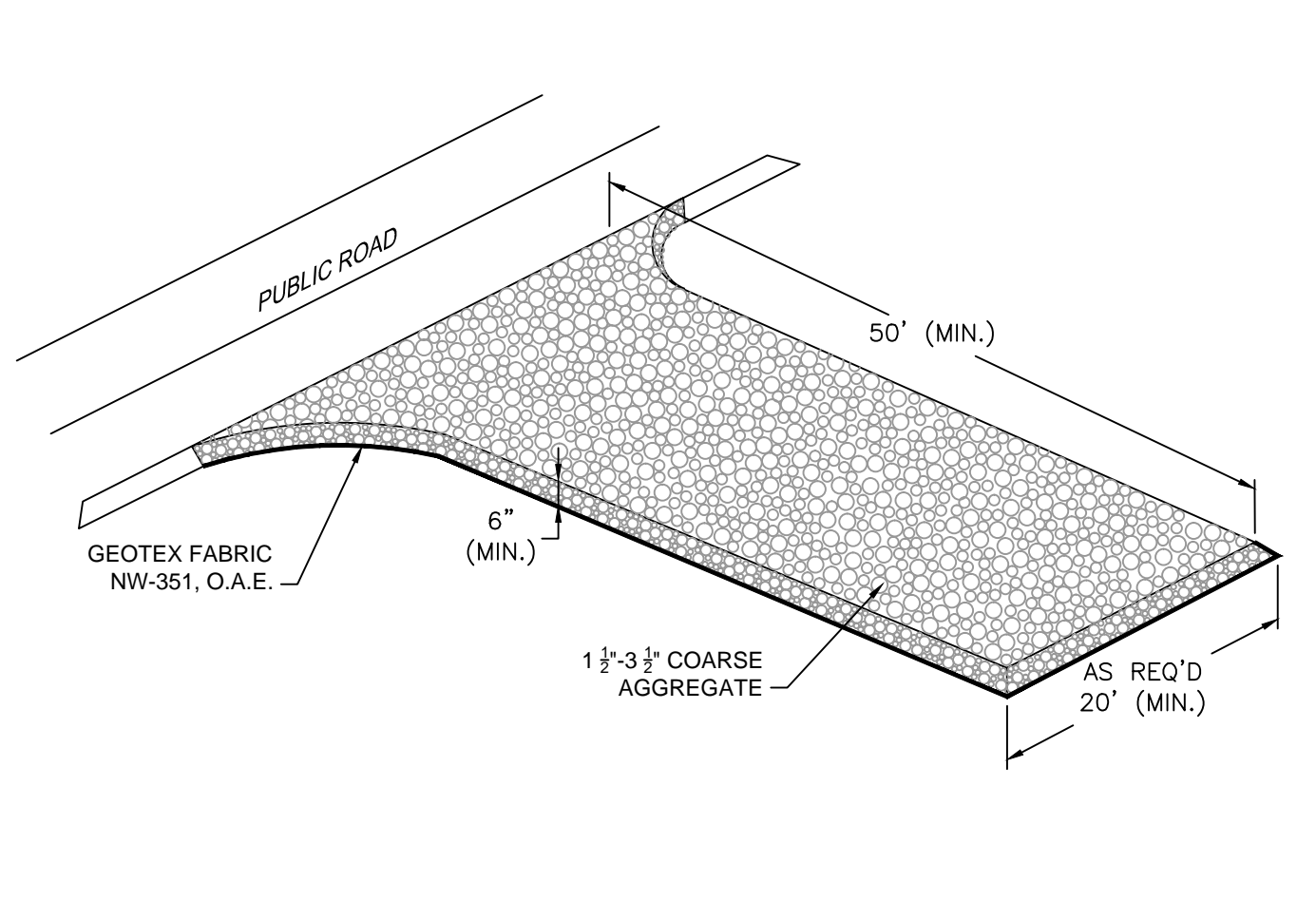
DETAIL HANDICAP PARKING SIGNAGE SCALE: N.T.S. ⑧



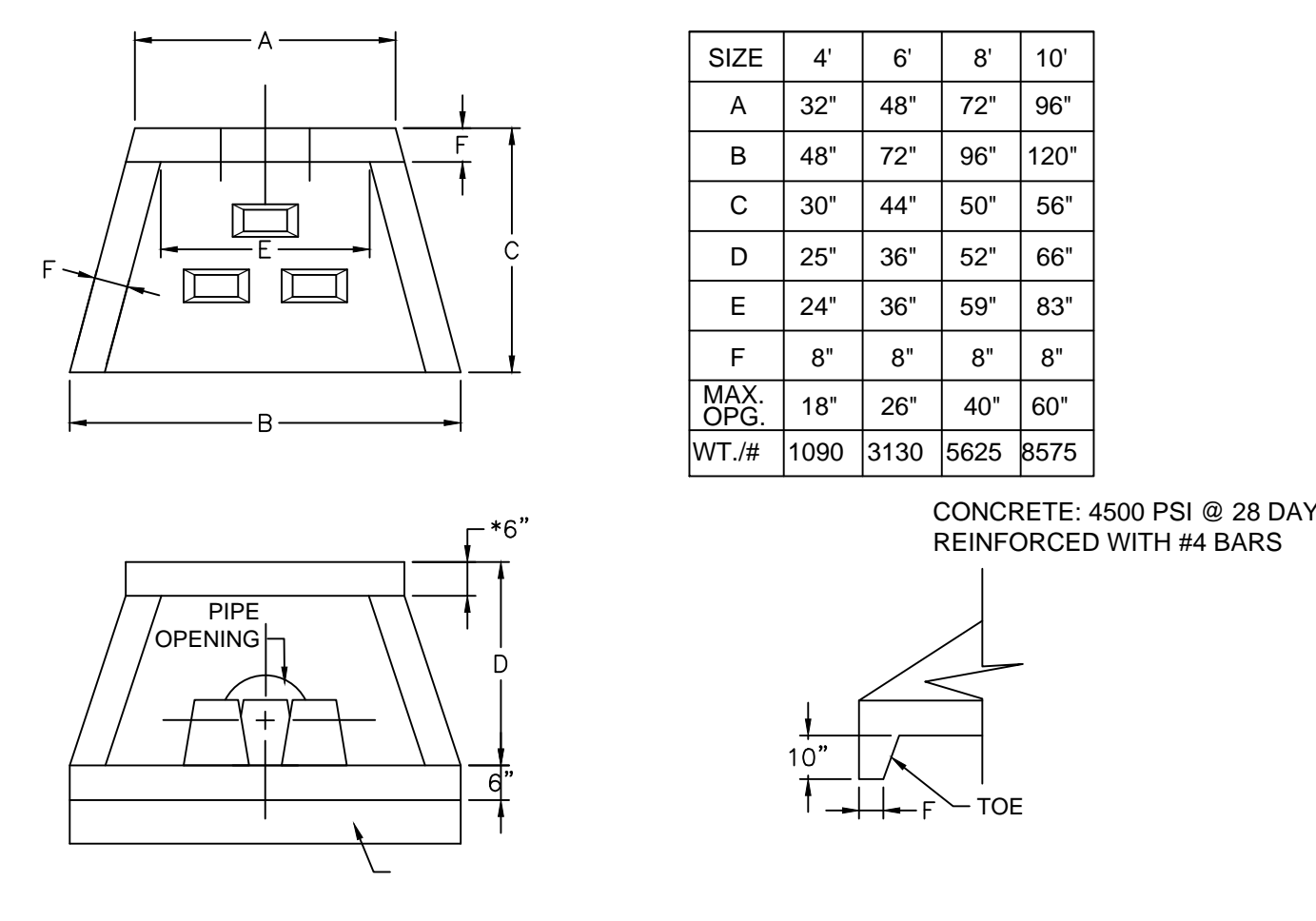
DETAIL PAINTED DIRECTIONAL ARROWS SCALE: N.T.S. ⑨



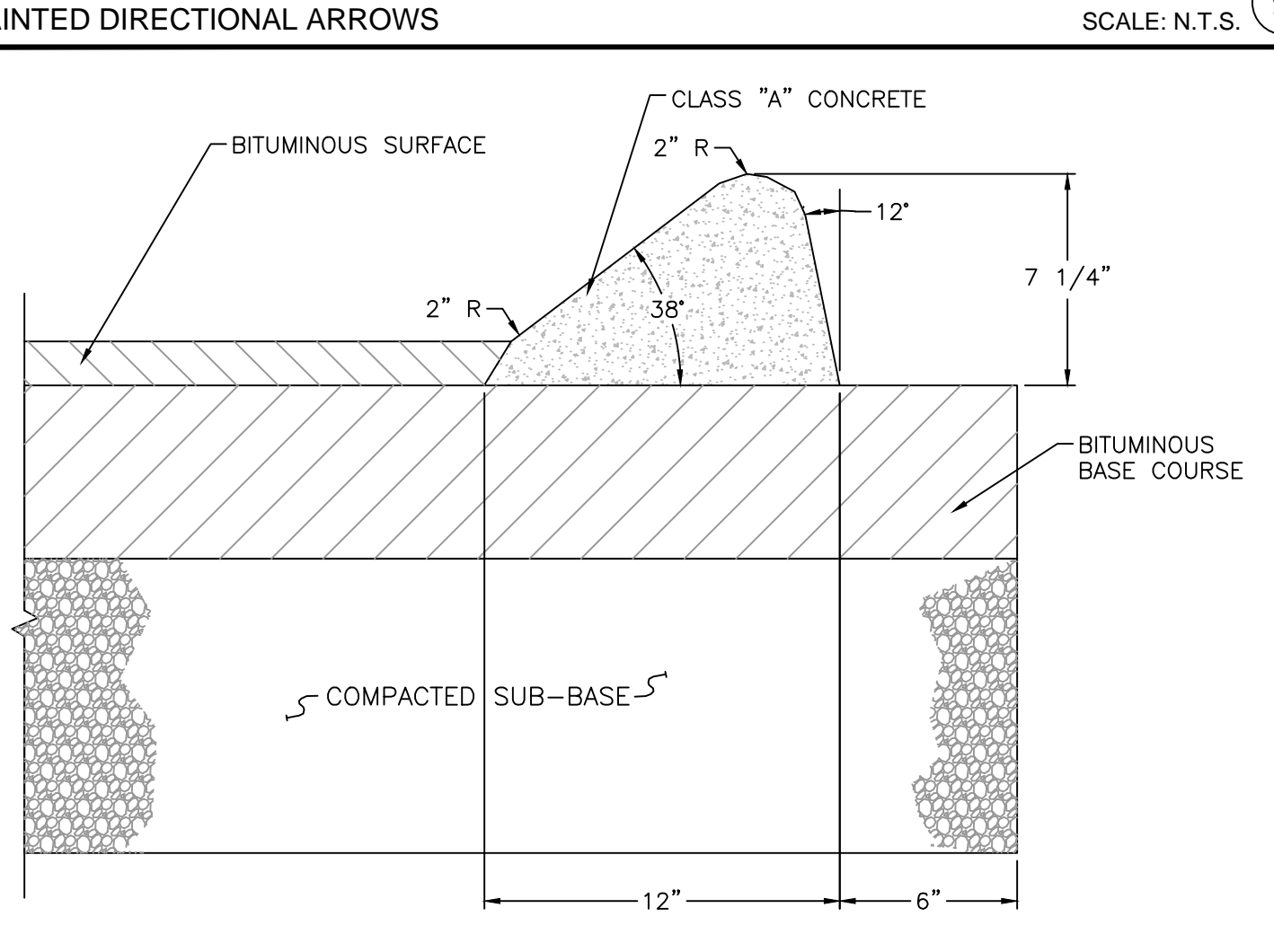
DETAIL TYPICAL TRAFFIC CLEAN-OUT ASSEMBLY SCALE: N.T.S. ⑩



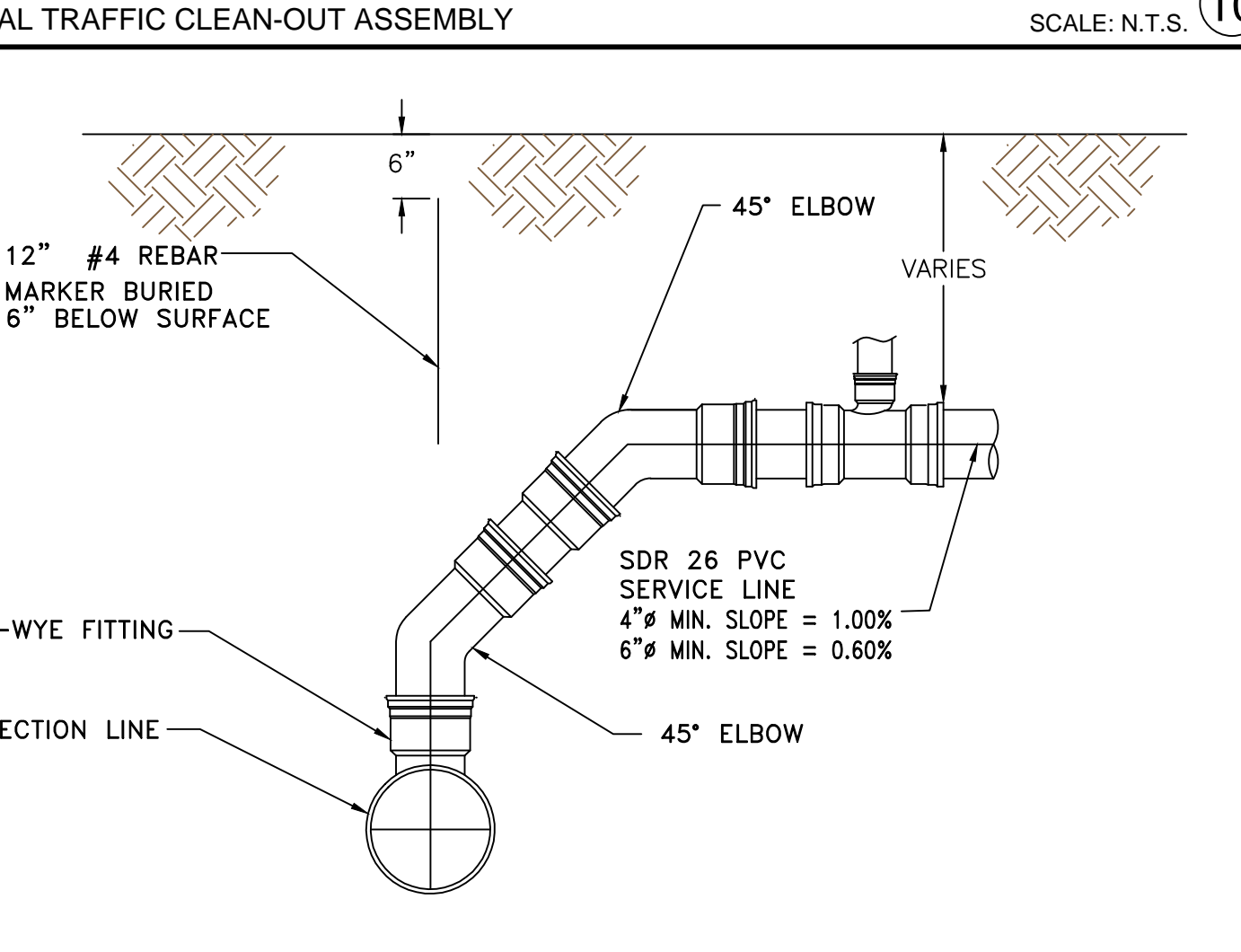
DETAIL TEMPORARY CONSTRUCTION ENTRANCE SCALE: N.T.S. ⑪



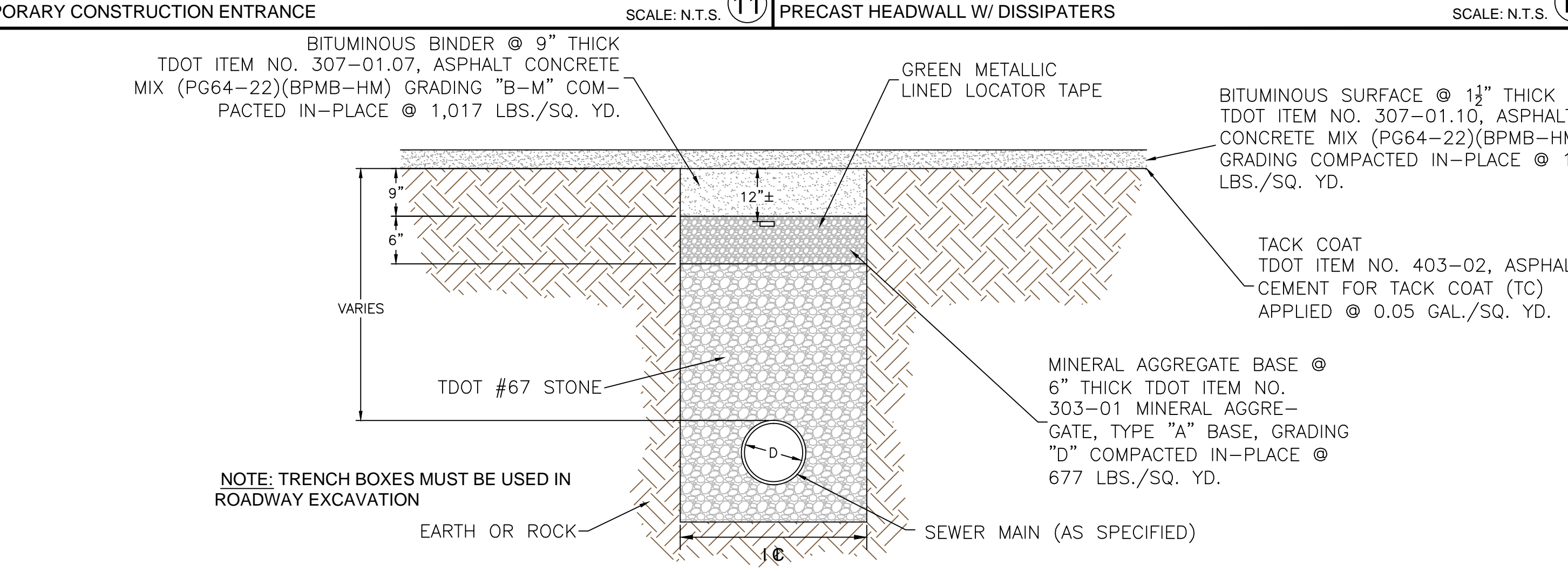
DETAIL PRECAST HEADWALL W/ DISSIPATERS SCALE: N.T.S. ⑫



DETAIL EXTRUDED 6" MOUNTABLE CONCRETE CURB SCALE: N.T.S. ⑬



SECTION INSTALLED GRAVITY SERVICE DETAIL SCALE: N.T.S. ⑭



DETAIL SEWER TRENCH IN BITUMINOUS SURFACE SCALE: N.T.S. ⑮

NO.	DATE	DESCRIPTION	BY	CHK

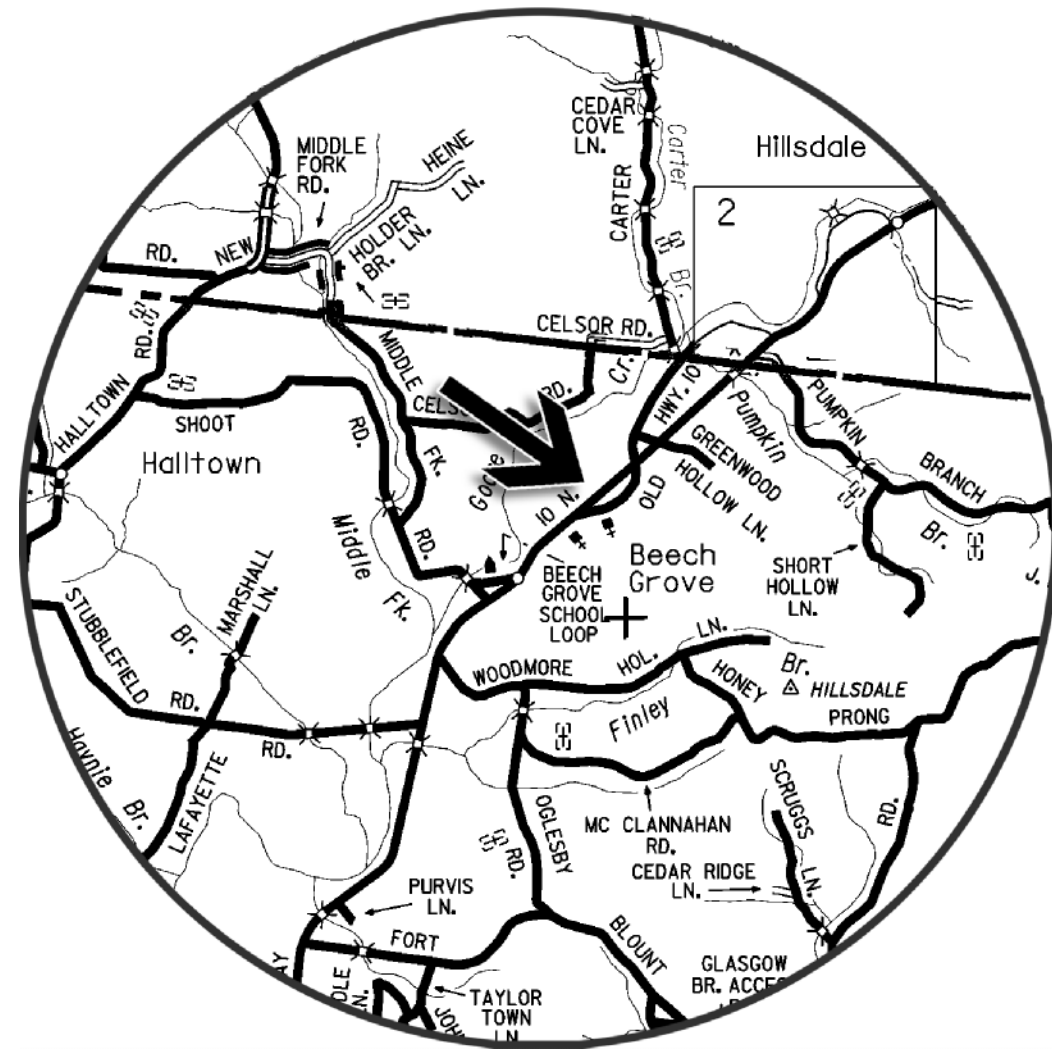
MID - TENN ENGINEERING CO.
 648 HIGHWAY 58 BYPASS W.
 LAFAYETTE, TN (615) 666-2455

JESSE PETERS APARTMENTS
 FRONT STREET
 HARTSVILLE, TENNESSEE

STANDARD SITE DETAILS

DESIGNED BY:	E.J.W.
CHECKED BY:	J.D.C.
DATE:	1/05/22
SCALE:	AS-NOTED
PROJECT NO.:	859101

LOCATION SKETCH n.t.s.



LEWIS CASS BEASLEY, III

RECORD BOOK 147, PAGE 35
 MAP 12, PARCEL 15.01 P/O
 5.80 ACRES REMAINING
 ZONED "R-1"

PRELIMINARY SUBDIVISION PLAT FOR
LEWIS CASS BEASLEY, III
 LOCATED IN THE 3RD CIVIL DISTRICT OF TROUSDALE COUNTY, TENNESSEE

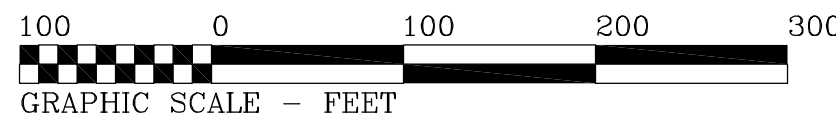
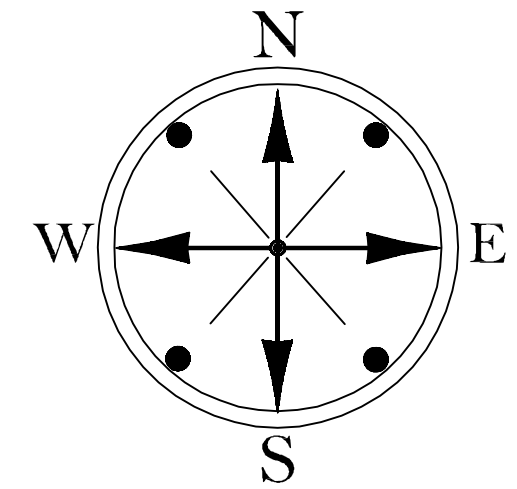
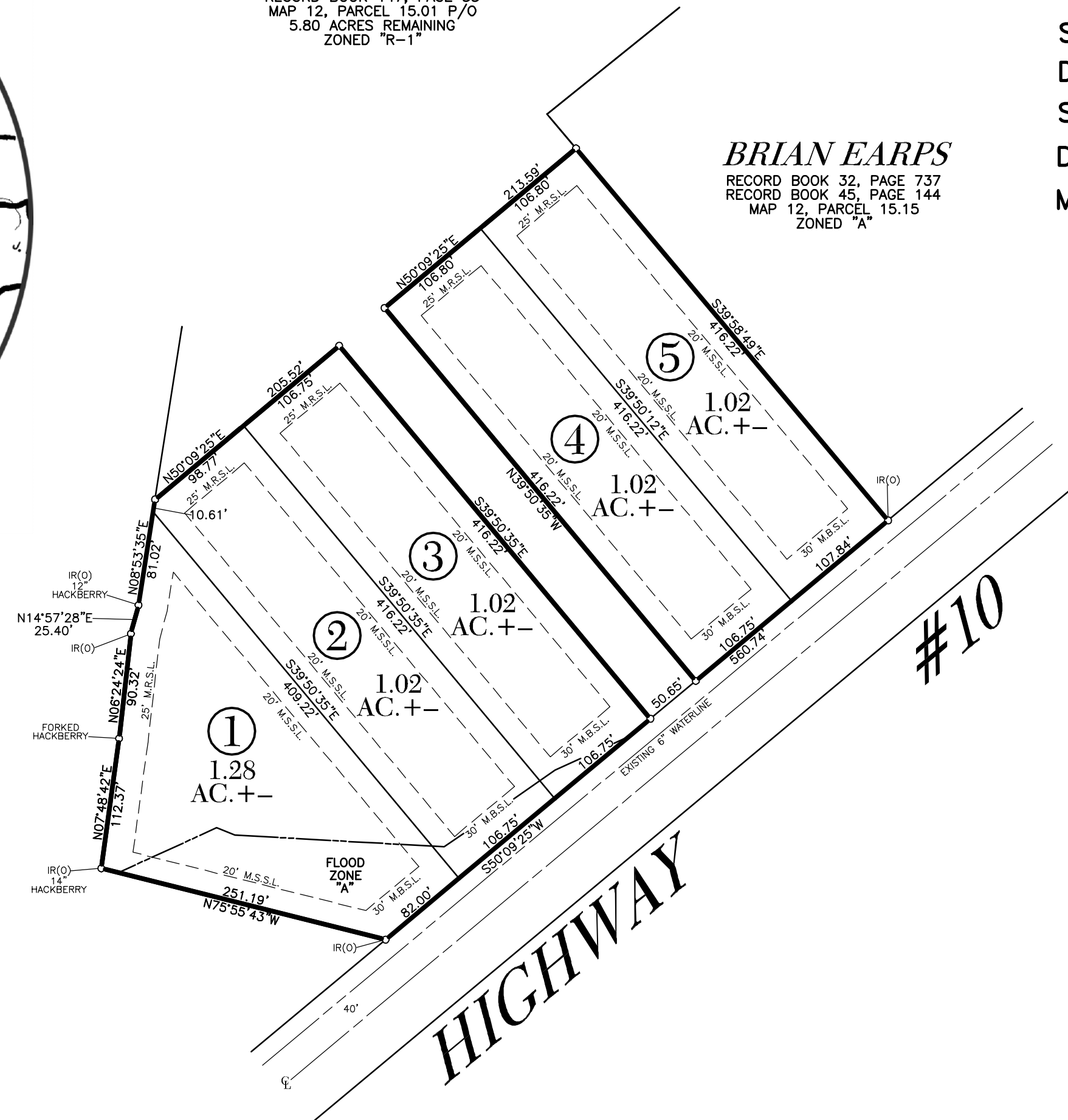
SCALE : 1" = 100'
 DATE : FEBRUARY 17, 2022
 SIZE : 5.36 AC.+
 DEED : R. B. 147, PG. 35, R.O.T.C.T.
 MAP : MAP 12, PAR. 15.01 P/O, T.A.O.T.C.T.

BRIAN EARPS

RECORD BOOK 32, PAGE 737
 RECORD BOOK 45, PAGE 144
 MAP 12, PARCEL 15.15
 ZONED "A"

BILLY TOWNS

RECORD BOOK 59, PAGE 443
 RECORD BOOK 112, PAGE 377
 MAP 12, PARCELS 16.02 & 16.09
 ZONED "A"



SURVEYOR'S CERTIFICATE:

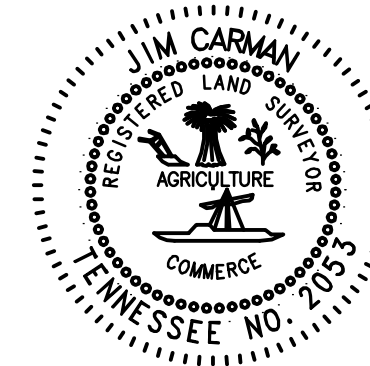
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1 : 10,000 AS SHOWN HEREON.

SEPTIC RESTRICTIONS

1. LOTS #1-#5 ARE APPROVED FOR INSTALLATION AND DUPLICATION OF CONVENTIONAL SUBSURFACE SEWAGE DISPOSAL SYSTEMS TO SERVE AN ESTIMATED HOUSE SIZE OF 3 BEDROOMS.
2. SOME LOTS MAY REQUIRE PUMP SYSTEMS TO TRANSFER SEPTIC TANK EFFLUENT TO AREAS OF THE LOT WITH SUITABLE SOIL CONDITIONS FOR DISPOSAL.
3. SHADING ON THESE LOTS REPRESENTS AN AREA RESERVED TO BE USED FOR THE INSTALLATION OF THE PRIMARY AND DUPLICATE SUBSURFACE SEWAGE DISPOSAL SYSTEMS, AND SHALL BE USED FOR NO OTHER PURPOSE SUCH AS HOUSE LOCATION, OTHER STRUCTURE LOCATION, BURIED UTILITIES, DRIVEWAYS, SWIMMING POOLS, ETC. OR ANY USE WHICH WOULD CONFLICT WITH THE REGULATIONS TO GOVERN SUBSURFACE SEWAGE DISPOSAL IN TENNESSEE. MODIFICATION OF THE SHADED AREA MAY BE CONSIDERED, PROVIDED SUFFICIENT SHADED AREA IS MAINTAINED.
4. LOTS #1-#5 ARE APPROVED FOR USE WITH UTILITY WATER ONLY.
5. THE SIZE, NUMBER OF SQUARE FEET, DESIGN, AND LOCATION OF THE PROPOSED DWELLING MAY FURTHER RESTRICT THE MAXIMUM NUMBER OF BEDROOMS FOR WHICH A PERMIT MAY BE ISSUED.
6. ALL UNDERGROUND UTILITIES AND DRIVEWAYS MUST ENTER ALONG THE SIDE PROPERTY LINES.
7. APPROVAL IS BASED ON SOIL CONDITIONS SUITABLE FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS AND DOES NOT CONSTITUTE APPROVAL OF BUILDING SITES.
8. PRIOR TO COMMENCING CONSTRUCTION ON THIS LOT, THE OWNER OF THE LOT MUST IDENTIFY AND MARK THE BOUNDARIES OF THE APPROVED SUBSURFACE SEWAGE DISPOSAL SITE ON SUCH LOT AS SHOWN ON THIS PLAT. IF THE OWNER DESIRES TO MODIFY OR RELOCATE THE SOIL SITE, THE OWNER WILL BE RESPONSIBLE FOR OBTAINING A SOIL EVALUATION OF THE PROPOSED LOCATION AND OBTAINING ALL NECESSARY APPROVALS PRIOR TO COMMENCING CONSTRUCTION.

NOTES:

1. PROPERTY IS ZONED "R-1".
2. THIS PROPERTY LIES IN AN AREA DESIGNATED AS FLOOD ZONES A & X. SEE COMMUNITY PANEL NUMBER 47169C0062C, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2010.
3. OWNER: LEWIS CASS BEASLEY, III
 1275 HWY 141 NORTH
 HARTSVILLE, TENNESSEE 37074
4. ALL CORNERS ARE NEW IRON RODS UNLESS OTHERWISE SPECIFIED.



CARMAN SURVEYING

150 MIDDLE FORK ROAD
 HARTSVILLE, TENNESSEE
 PHONE: (615) 374-3344

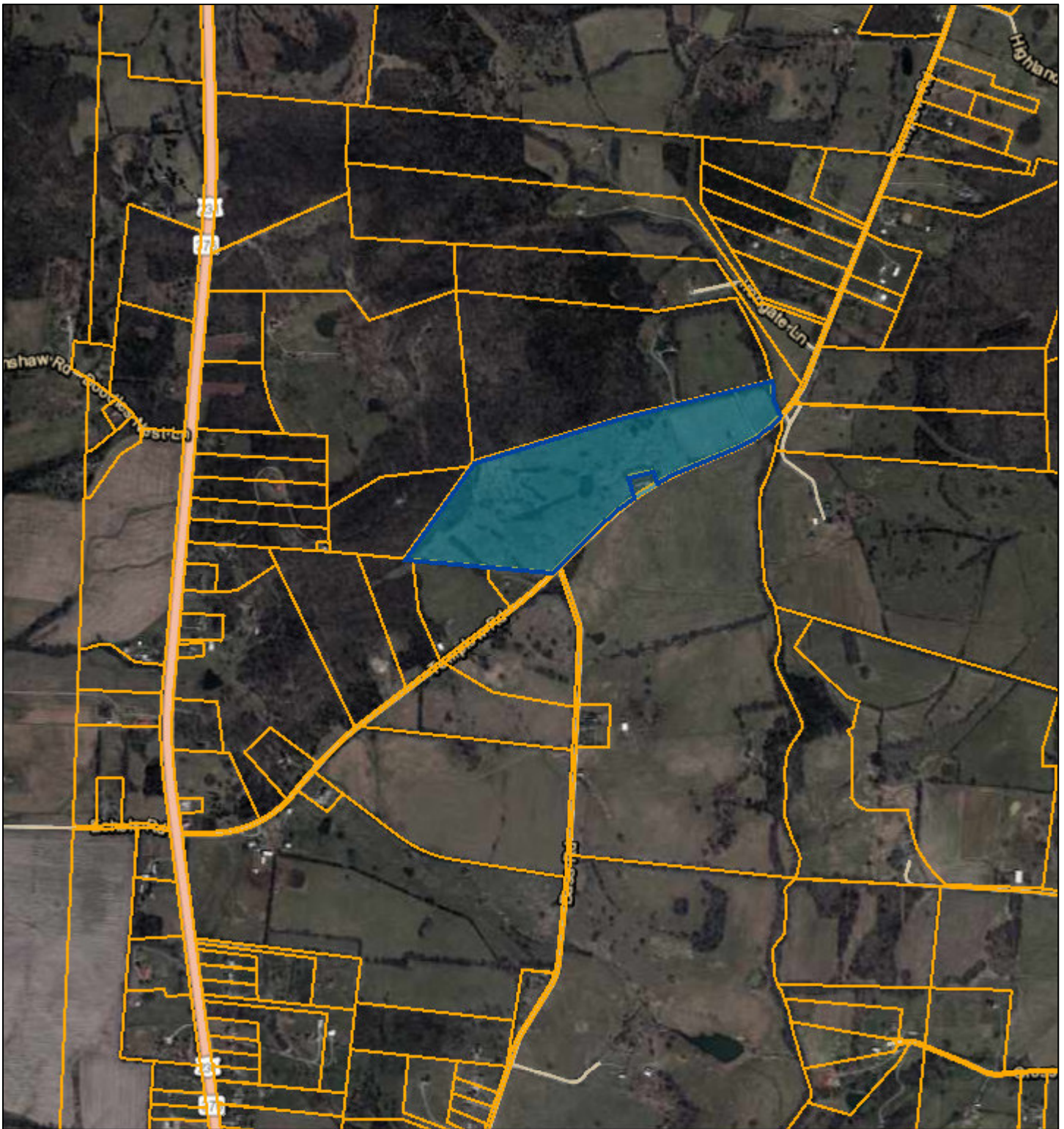
CERTIFICATE OF PRELIMINARY APPROVAL

Approved by the Hartsville / Trousdale County Planning Commission, with exceptions or conditions as are indicated in the Minutes of the Planning Commission dated _____. Preliminary approval shall not constitute final approval of the Subdivision Plat.

Date: _____

Secretary Planning Commission

Trousdale County - Parcel: 016 018.00



Date: March 9, 2022
County: Trousdale
Owner: TAYLOR ZACH
Address: TEMPLOW RD
Parcel Number: 016 018.00
Deeded Acreage: 57
Calculated Acreage: 0
Date of Imagery: 2017

Esri, HERE, Garmin, (c) OpenStreetMap contributors
State of Tennessee, Comptroller of the Treasury, Department of Property
Assessment (DPA) - Geographic Services
TDOT

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

HARTSVILLE/TROUSDALE COUNTY
Sam Edwards | Zoning & Building Inspector
328 Broadway, Room 1 | Hartsville, TN 37074
office (615) 374-1125 | fax (615) 374-0558

ZONING CHANGE

PARCEL INFORMATION

Current Zoning A-1 Requested Zoning R-1 Reason to create residential homesites
Property Owner Zach Taylor Phone (615) 633-8355
Property Address Templow Rd., Hartsville, TN 37074
Lot Size 57 Road Frontage 2184.9 ft. Easements _____ ft
Tax Map Number 016 Group _____ Parcel 018 Record/Deed Book 96/467
Subdivision Name _____ Phase _____ Lot # _____
Water Source _____ Sewer or Septic _____

APPLICANT INFORMATION

Applicant Name Fleming Homes - Jordan Fleming Phone (615) 788-6996
Mailing Address PO BOX 1706, MT JULIET, TN 37121
Email: JORDAN@FLEMINGHOMESUSA.COM

IMPACT INFORMATION

Zoning of Surrounding Properties _____
Names of Surrounding Property Owners _____
Affected Roads _____
Schools Affected _____
Public Utilities _____

ACTION TAKEN

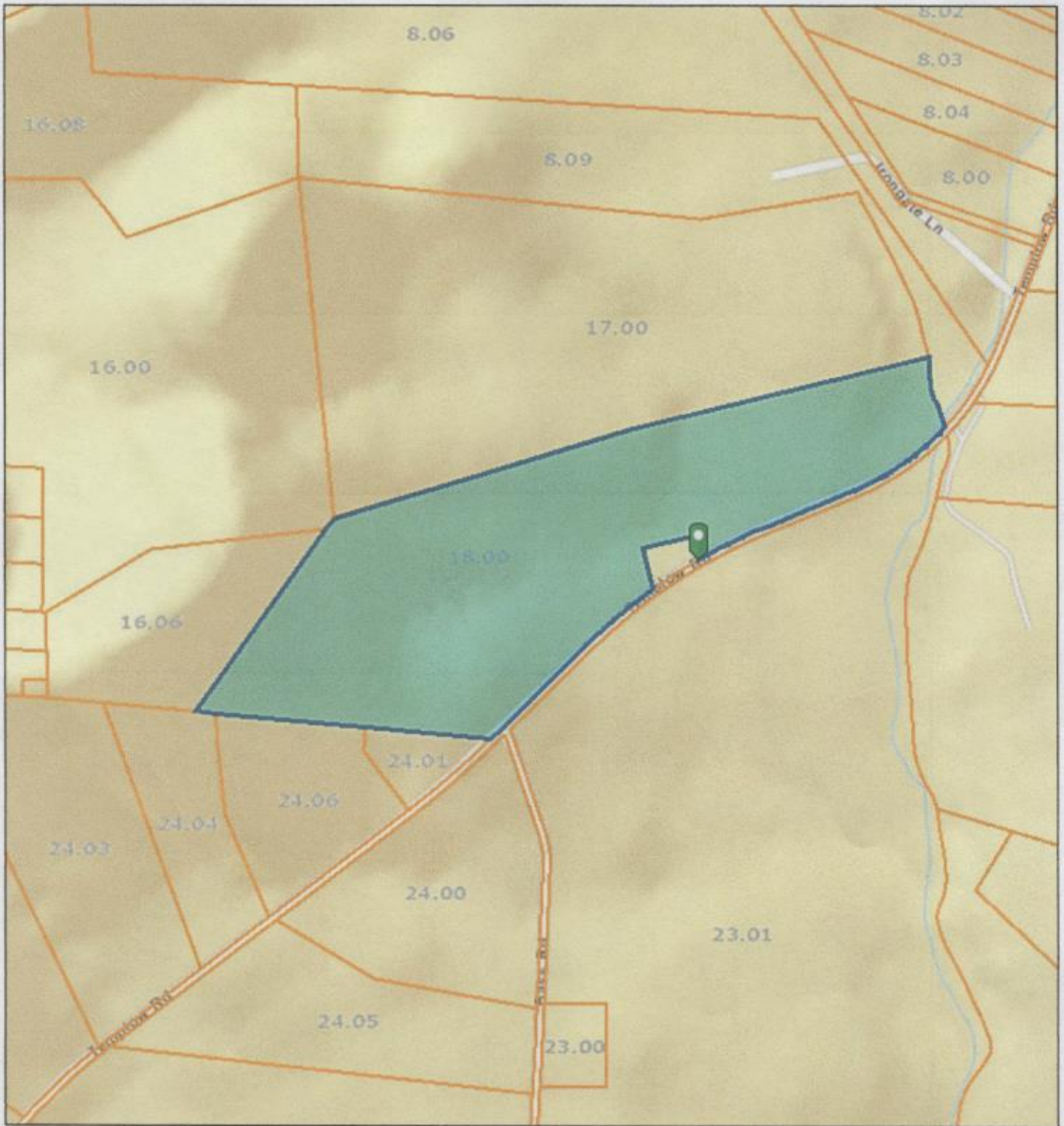
Reviewed by Planning Commission	_____	Action	_____
Reviewed by BZA	_____	Action	_____
Zoning Ordinance at County Commission			
1 st Reading	_____	Action	_____
Public Hearing	_____	Action	_____
2 nd Reading	_____	Action	_____
Passed	_____	Failed, state reason	_____

Applicant Signature

Date Submitted

\$100 Application fee

Trousdale County - Parcel: 016 018.00



Date: February 21, 2022
County: Trousdale
Owner: TAYLOR ZACH
Address: TEMPLOW RD
Parcel Number: 016 018.00
Deeded Acreage: 57
Calculated Acreage: 0
Date of Imagery: 2017

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community
State of Tennessee, Comptroller of the Treasury, Department of Property Assessment (DPA) - Geographic Services

The property lines are compiled from information maintained by your local county Assessor's office but are not conclusive evidence of property ownership in any court of law.

State of Tennessee  Comptroller of the Treasury
Real Estate Assessment Data

Home	About	New Search	Return to List
------	-------	------------	----------------

County Number: 085

County Name: TROUSDALE

Tax Year: 2021

Property Owner and Mailing Address

Jan 1 Owner:
 TAYLOR ZACH
 204 COURT ST
 HARTSVILLE, TN 37074

Current Owner:
 TAYLOR ZACH
 204 COURT ST
 HARTSVILLE, TN 37074

Property Location

Address: TEMPLOW RD

Map: 016 Grp: Ctrl Map: 016 Parcel: 018.00 Pl: S/I: 000

Value Information

Reappraisal Year: 2016

Land Mkt Value:	\$210,900	Land Use Value:	\$66,700
Improvement Value:	\$0	Improvement Value:	\$0
Total Market Appraisal:	\$210,900	Total Use Appraisal:	\$66,700
		Assessment %:	25
		Assessment:	\$16,675

General Information

Class:	11 - AGRICULTURAL		
City #:	000	City:	
SSD1:	000	SSD2:	000
District:	05	Mkt Area:	K01
# Bldgs:	0	# Mobile Homes:	0
Utilities - Water / Sewer:	03 - PUBLIC / INDIVIDUAL	Utilities - Electricity:	01 - PUBLIC
Utilities - Gas / Gas Type:	01 - PUBLIC - NATURAL GAS	Zoning:	A1

Subdivision Data

Subdivision:

Plat Bk: Plat Pg: Block: Lot:

Additional Description

Building Information

Extra Features

Sale Information

Sale Date	Price	Book	Page	Vac/Imp	Type Instrument	Qualification
09/08/2016	\$110,000	R896	467	VACANT	WD	A
12/02/1999	\$1	64	125	IMPROVED	WD	B
02/06/1957	\$0	0000X	00345			

Land Information

Deed Acres: 57.00	Calc Acres: 0.00	Total Land Units: 52.00
Land Type: 46 - ROTATION	Soil Class: P	Units: 25.00
Land Type: 54 - PASTURE	Soil Class: G	Units: 23.00
Land Type: 62 - WOODLAND 2	Soil Class: P	Units: 4.00

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[Comptroller of the Treasury
Home Page](#)

[State of Tennessee
Home Page](#)

February 19th, 2022

Trousdale County

57 acres at Temprow Rd. Bethpage

To Whom It May Concern:

Good afternoon. My name is Zach Taylor, and I am the land owner for these 57 acres along Temprow Rd in Bethpage; parcel 016 018.00. I am in support and approve of this property for the residential zone application and request. I think this is exactly what is needed in this area, and will be a value add.

There is plenty of supporting residential in the around here. And this will continue to complement and support the desired homes in Trousdale County and Bethpage.

Our family has worked with Jordan Fleming in the past along Temprow Rd. and everything has been a great experience.

Thank you for your time to review and support this upcoming value add project. We are all confident this will definitely be positive impact here!

Respectfully,

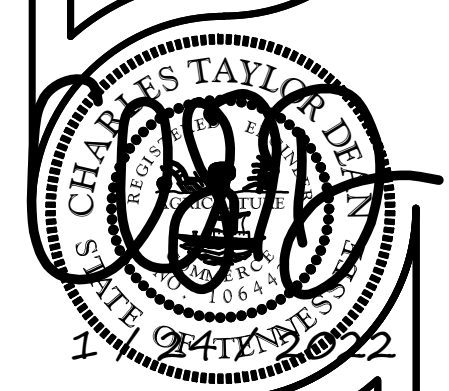
A handwritten signature in blue ink, appearing to read 'Zach Taylor', with a long horizontal flourish extending to the right.

Zach Taylor

Initial Submittal:
January 24, 2022
Revisions:

50 Scale
Designed By:
Charley Dean, PE

Dean Design Group
Civil Engineering, Land Planning & Zoning
1633 West Main Street, Suite 1002, Lebanon TN 37087
Phone: 615-300-6316; EMail: charley@deandesigngroupllc.com



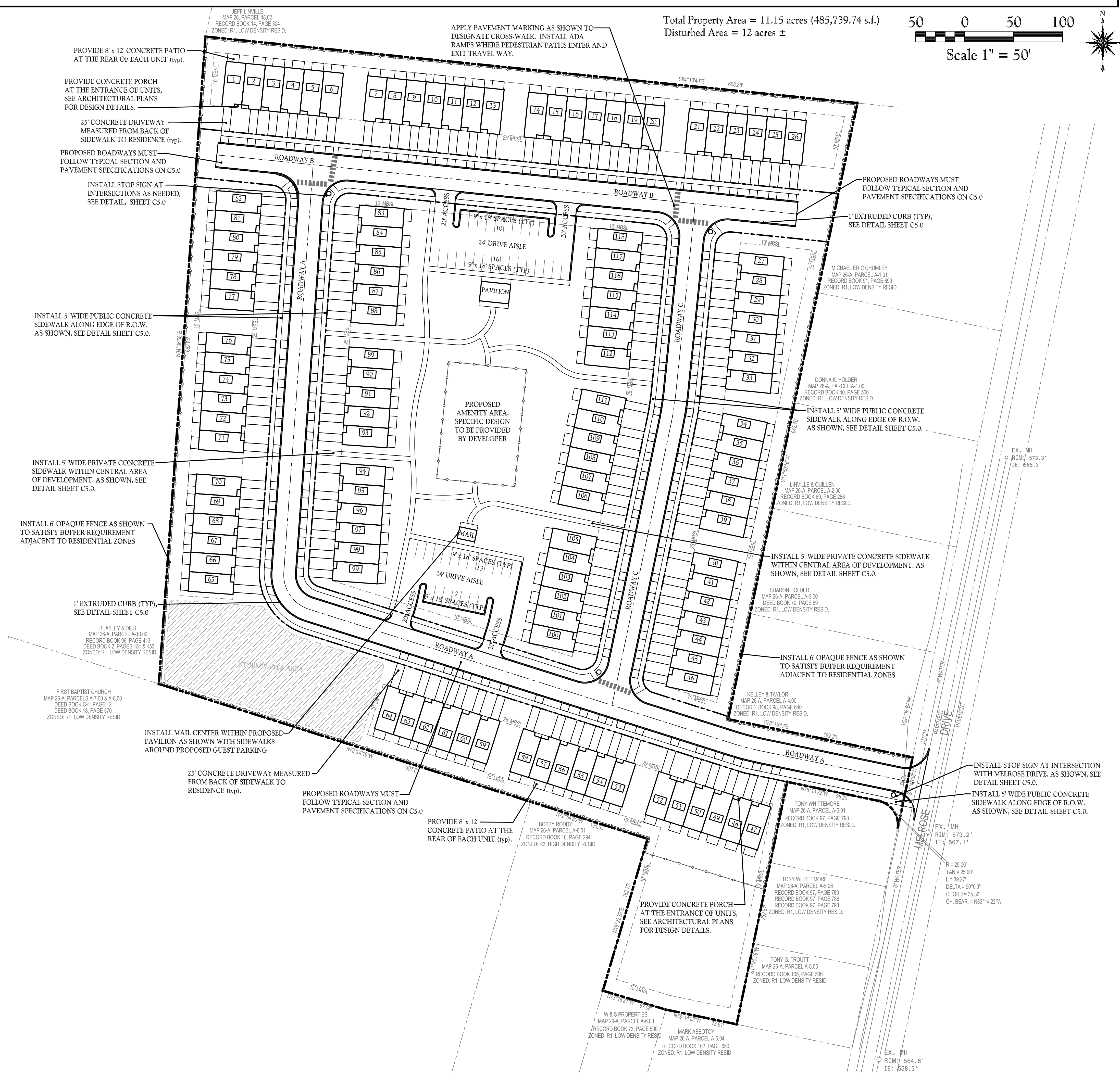
The Towns at Melrose
Map 26-A, Parcel A-500 in Trousdale Co
Melrose Drive, Hartsville, Tennessee

Permit Info:

Project: 22003

C2.0

Sheet 4 of 19



Total Property Area = 11.15 acres (485,739.74 s.f.)
Disturbed Area = 12 acres ±
Scale 1" = 50'



PROVIDE 8' x 12' CONCRETE PATIO AT THE REAR OF EACH UNIT (typ).

PROVIDE CONCRETE PORCH AT THE ENTRANCE OF UNITS, SEE ARCHITECTURAL PLANS FOR DESIGN DETAILS.

25' CONCRETE DRIVEWAY MEASURED FROM BACK OF SIDEWALK TO RESIDENCE (typ).

PROPOSED ROADWAYS MUST FOLLOW TYPICAL SECTION AND PAVEMENT SPECIFICATIONS ON C5.0

INSTALL STOP SIGN AT INTERSECTIONS AS NEEDED, SEE DETAIL, SHEET C5.0

INSTALL 5' WIDE PUBLIC CONCRETE SIDEWALK ALONG EDGE OF R.O.W. AS SHOWN, SEE DETAIL SHEET C5.0.

INSTALL 5' WIDE PRIVATE CONCRETE SIDEWALK WITHIN CENTRAL AREA OF DEVELOPMENT, AS SHOWN, SEE DETAIL SHEET C5.0.

INSTALL 6' OPAQUE FENCE AS SHOWN TO SATISFY BUFFER REQUIREMENT ADJACENT TO RESIDENTIAL ZONES

1' EXTRUDED CURB (TYP) SEE DETAIL SHEET C5.0

BEASLEY & DIES
MAP 26-A, PARCEL A-10.00
RECORD BOOK 96, PAGE 413
DEED BOOK 2, PAGES 151 & 153
ZONED: R1, LOW DENSITY RESID.

FIRST BAPTIST CHURCH
MAP 26-A, PARCELS A-7.00 & A-8.00
DEED BOOK C-1, PAGE 12
DEED BOOK 18, PAGE 370
ZONED: R1, LOW DENSITY RESID.

INSTALL MAIL CENTER WITHIN PROPOSED PAVILION AS SHOWN WITH SIDEWALKS AROUND PROPOSED GUEST PARKING

25' CONCRETE DRIVEWAY MEASURED FROM BACK OF SIDEWALK TO RESIDENCE (typ).

PROPOSED ROADWAYS MUST FOLLOW TYPICAL SECTION AND PAVEMENT SPECIFICATIONS ON C5.0

PROVIDE 8' x 12' CONCRETE PATIO AT THE REAR OF EACH UNIT (typ).

BOBBY RODDY
MAP 26-A, PARCEL A-6.01
RECORD BOOK 10, PAGE 294
ZONED: R3, HIGH DENSITY RESID.

PROVIDE CONCRETE PORCH AT THE ENTRANCE OF UNITS, SEE ARCHITECTURAL PLANS FOR DESIGN DETAILS.

TONY WHITTEMORE
MAP 26-A, PARCEL A-5.01
RECORD BOOK 97, PAGE 798
ZONED: R1, LOW DENSITY RESID.

TONY WHITTEMORE
MAP 26-A, PARCEL A-5.08
RECORD BOOK 97, PAGE 780
RECORD BOOK 97, PAGE 786
RECORD BOOK 97, PAGE 788
ZONED: R1, LOW DENSITY RESID.

TONY G. TROUTT
MAP 26-A, PARCEL A-5.05
RECORD BOOK 105, PAGE 538
ZONED: R1, LOW DENSITY RESID.

W & S PROPERTIES
MAP 26-A, PARCEL A-6.00
RECORD BOOK 73, PAGE 500
ZONED: R1, LOW DENSITY RESID.

MARK ABBOTTY
MAP 26-A, PARCEL A-5.04
RECORD BOOK 102, PAGE 650
ZONED: R1, LOW DENSITY RESID.

EX. MH
RIM: 584.6'
I.E.: 556.3'

Site Layout Plan